

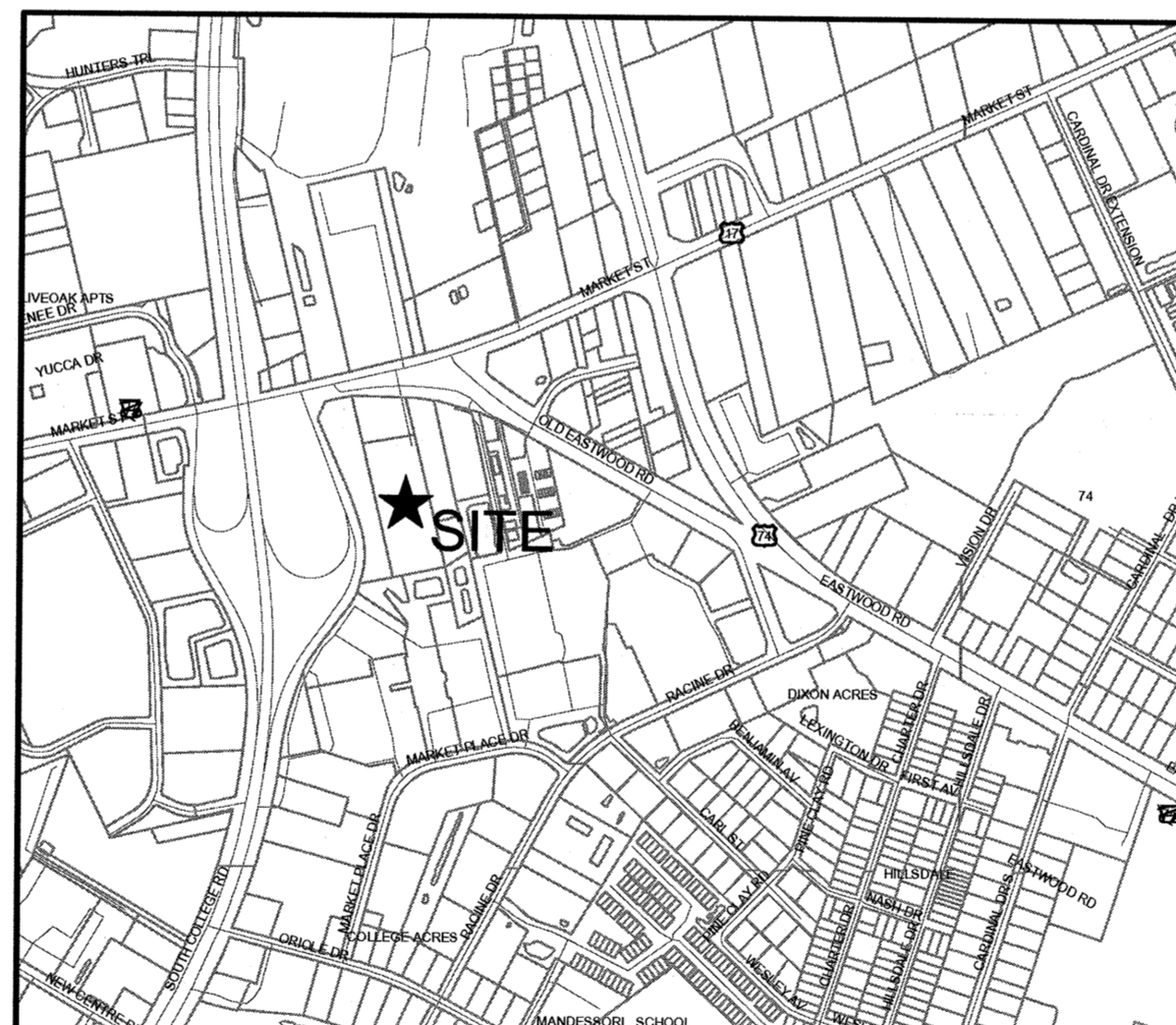
GARRIS ROAD STORAGE

20 GARRIS ROAD
WILMINGTON, NORTH CAROLINA 28403

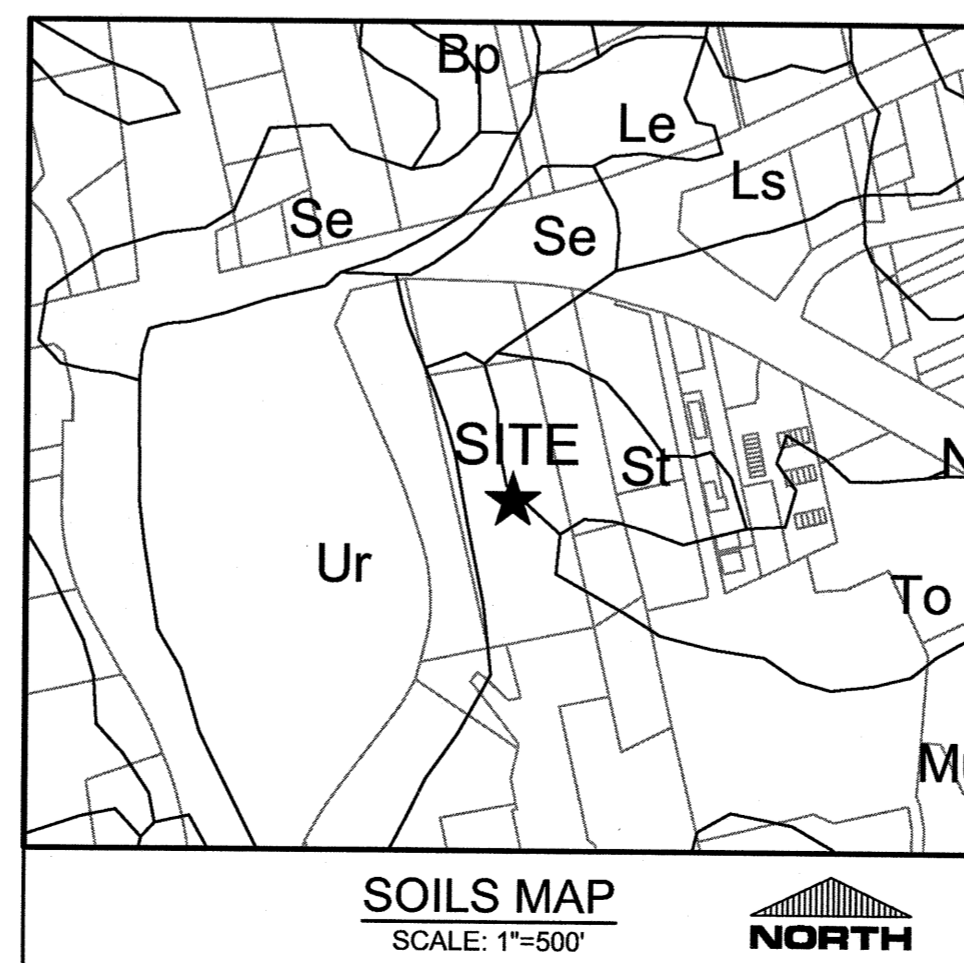
CONSTRUCTION DOCUMENTS

DATE: APRIL 2018

PROJECT ADDRESS:
20 GARRIS ROAD
WILMINGTON, NC 28403



VICINITY MAP
SCALE: 1"=1000'



SOILS MAP
SCALE: 1"=500'



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: ERYN MOLLER, PLANNER
PH: 910-341-4695

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

TIME WARNER CABLE
PH: 910-763-4638

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.		NCDENR PWSS WATER PERMIT #:	
		WATER CAPACITY:	GPD
		DWG SEWER PERMIT #:	
		SEWER CAPACITY:	GPD
		SEWER SHED # AND PLANT:	
		SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)
Approved Construction Plan			
Name	Date		
Planning: <i>EFE</i>	<i>5-2-18</i>		
Traffic: <i>W. Berry</i>	<i>5-1-18</i>		
Fire: <i>J.D. C.</i>	<i>5/1/18</i>		
		Public Services • Engineering Division	
		APPROVED STORMWATER MANAGEMENT PLAN	
		Date:	<i>05/03/2018</i> Permit # <i>2000013A1</i>
		Signed:	<i>Robert P. Balland for RAC</i>

OWNER / DEVELOPER:
GARRIS ROAD STORAGE HOLDINGS I, LLC
11111 CAMEL COMMONS BLVD., STE. 207
CHARLOTTE, NORTH CAROLINA 28226
ATTN: TONY BERRY (704) 496-9617

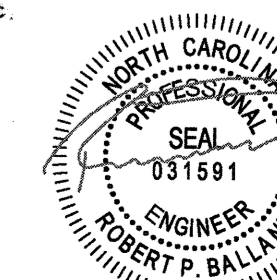
SURVEYOR, ENGINEER (CIVIL), & LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-2.1	TREE REMOVAL PLAN
C-2.2	TREE REMOVAL PLAN WITH SITE PLAN
C-3.0 & C-3.1	GRADING-DRAINAGE-EC PLAN
C-3.2	INLET AREA MAP
C-4.0	UTILITY PLAN
C-5.0-5.4	DETAILS
L-1.0	LANDSCAPE PLAN

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 17148-PE



04/25/18

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- 1. TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL OPERATIONS BY OBSERVATIONS, IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUSTAINABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPUA, RESPECTIVELY.
17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE COST HAS LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE INITIATIVE AND AT NO EXTRA PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR NECESSARY. NO CLAIMS FOR THE REARRANGEMENT OF THE SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-652-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 PROVIDED ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL, CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO BE DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT, ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GRASS COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK SHALL BE CONSTRUCTED NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE ON-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/ OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S) ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP-INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT BACKING STAKE SPACING WILL BE 6 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND NO WIRE BACKING ARE USED, IF ROCK FILTERS (OR EXCELISOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT 1/8" OR HALF OF THE DEPTH OF THE ROCK TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS INFILTRATION TRENCH NOTES.

PERMANENT SEEDING

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Bermuda Hulled, Centipede, Tall Fescue, and Slopes >= 2:1.

TEMPORARY SEEDING

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Rye Grain, Sweet Sudan Grass, German or Brown Top Millet, and Straw Mulch.

NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE: DENUEDED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.

STABILIZATION TIME FRAMES:

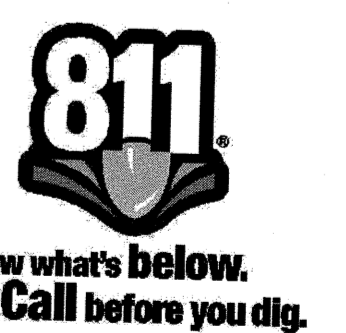
Table with 3 columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS. Rows include Perimeter Dikes, High Quality Water (HOW) Zones, Slopes Steeper Than 3:1, Slopes 3:1 or Flatter, and All Other Areas.

NC ACCESSIBILITY NOTES:

- GENERAL NOTES:
1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING DETAILS, AS WELL AS IN CONSTRUCTION. PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVED, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNT ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.
ACCESSIBLE ROUTE NOTES:
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A GREATER SURFACE BY SIXTY (60) INCHES MINIMUM, OR AN INTERSECTION OF TWO (2) ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
RAMP NOTES:
1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.
CURB RAMP NOTES:
1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESSIBLE CURBS AT SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE DETECTABLE WARNING WITH 408 12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNING AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THIS.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD:

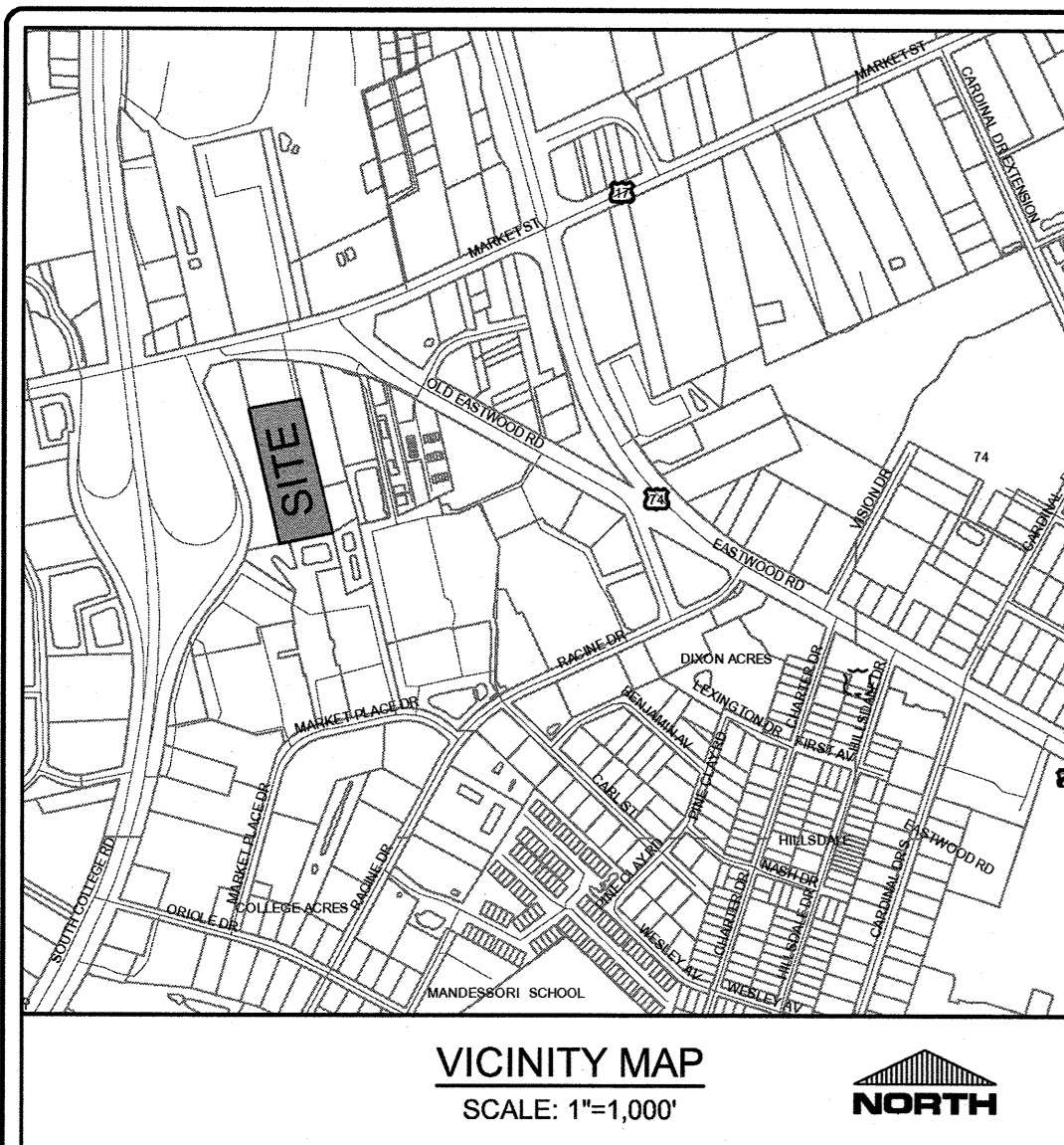
- PARKING SPACE NOTES:
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESSIBLE ISLAND AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). THE WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE. MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE, CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN INSTALLED WITH ROLL-OFF PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1 ISHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).
PASSENGER LOADING ZONE NOTES:
1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A (114) INCHES MINIMUM.
ACCESSIBLE ENTRANCE NOTES:
1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.
GENERAL STORM SEWER NOTES:
1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.
ROOF DRAIN NOTE:
1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.
EXISTING UTILITY NOTES:
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY.
WETLAND NOTES:
1) THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.



Approval form for construction plan including permit information, dates, and signatures. Includes 'Approved Construction Plan' stamp and 'Approved Stormwater Management Plan' stamp.

Vertical sidebar containing project information, client information (GARRIS ROAD STORAGE HOLDINGS LLC), revision notes, and general notes.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION
 OWNER INFORMATION: GARRIS ROAD STORAGE HOLDINGS I, LLC
 PROJECT ADDRESS: 20 GARRIS ROAD WILMINGTON, NC 28403
 TAX PARCEL IDENTIFICATION #: R04912-004-002-000
 RECORDED DEED BOOK: BK 9908 PG 1013
 CURRENT ZONING: RB - REGIONAL BUSINESS
 EXISTING USE: UNDEVELOPED
 PROPOSED USE: PH1: MULTI-STORY STORAGE PH2: FUTURE DEVELOPMENT
 FLOOD INFORMATION: THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.
 CAMA LAND USE CLASSIFICATION: URBAN

SITE AREA
 LOT 1 (ABC PARCEL): 51,957 SF (1.19 ACRES)
 LOT 2 (PH1 - GARRIS RD STORAGE): 88,981 SF (± 2.04 ACRES)
 LOT 3 (FUTURE DEV.): 85,354 SF (± 1.96 ACRES)
 GARRIS RD: 24,206 SF (0.55 AC)
 STORMWATER BASIN LOT: 49,931 SF (1.15 AC)

DIMENSIONAL REQUIREMENTS
 RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 25'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL USE (38' PROVIDED)
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL USE (4' PROVIDED)
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'
 - PROPOSED BUILDING HEIGHT: 44' MAX
 - ADDITIONAL BLDG HT. ALLOWED: 4' ADDITIONAL SETBACK FOR FIRST 10' IN HT. ADDED

IMPERVIOUS INFORMATION
 EXISTING IMPERVIOUS AREA: 0 SF
 MAXIMUM IMPERVIOUS AREA: 149,955 SF (LOT 2=64,795, LOT 3=85,160)
 PROPOSED IMPERVIOUS AREA: 34,233 SF
 TOTAL BUILDING (FOOTPRINT) ON-SITE PARKING, ACCESSORY STRUCTRES, & DRIVEWAYS: 24,000 SF
 ON-SITE SIDEWALKS: 250 SF
 FUTURE BUILDING EXPANSION: 0 SF
 FUTURE IMPERVIOUS: 91,472 SF
 TOTAL PROPOSED IMP. AREA: 149,955 SF (3.44 AC)
 PROPOSED PERCENT IMPERVIOUS: 149,955 / 174,335 = 86.0%

PHASE 1 MULTI-STORY STORAGE BUILDING INFORMATION
 CONSTRUCTION TYPE: STEEL FRAME
 NUMBER OF EXISTING BUILDINGS: 0
 NUMBER OF PROPOSED BUILDINGS: 1 IN PH 1
 PROPOSED BUILDING SF: 100,200 SF TOTAL, 34,233 SF FOOTPRINT
 MAX. HEIGHT: 44'-0" (9' ABOVE BASE ALLOWED HT.)
 MINIMUM PARKING REQUIRED: 1/400SF OFFICE SPACE, 1,000SF/400=3 SPACES, 1/5,000SF INDOOR AREA
 TOTAL REQUIRED: 96,200SF/5,000=19 SPACES
 TOTAL PROVIDED: 22 SPACES
 LOADING SPACES REQUIRED: 4 SPACES
 LOADING SPACES PROVIDED: 4 SPACES
 HANDICAP PARKING REQUIRED: 1 SPACES
 HANDICAP PARKING PROVIDED: 1 SPACES
 BICYCLE PARKING REQUIRED: N/A
 BICYCLE PARKING PROVIDED: N/A

LANDSCAPE CALCULATIONS
 SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS.

GENERAL NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- THERE SHALL BE NO OUTSIDE, UNCOVERED STORAGE.
- THERE SHALL BE NO STORAGE OF HAZARDOUS OR FLAMMABLE MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.

AUTOTURN NOTE:

- AASHTO 2004 (US) S-BUS-40 IS EQUIVALENT WHEEL BASE AS A TYPICAL ENGINE FIRE TRUCK AND GARBAGE TRUCK WITH ARMS OVER THE CAB.

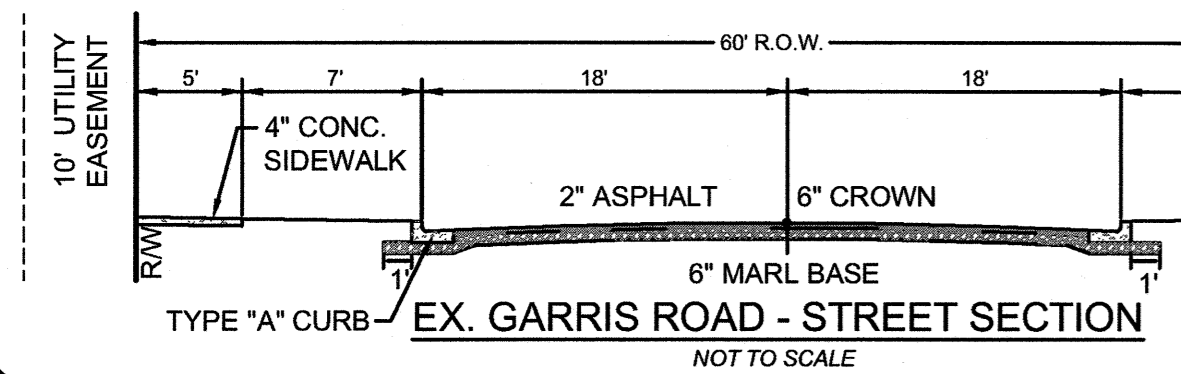
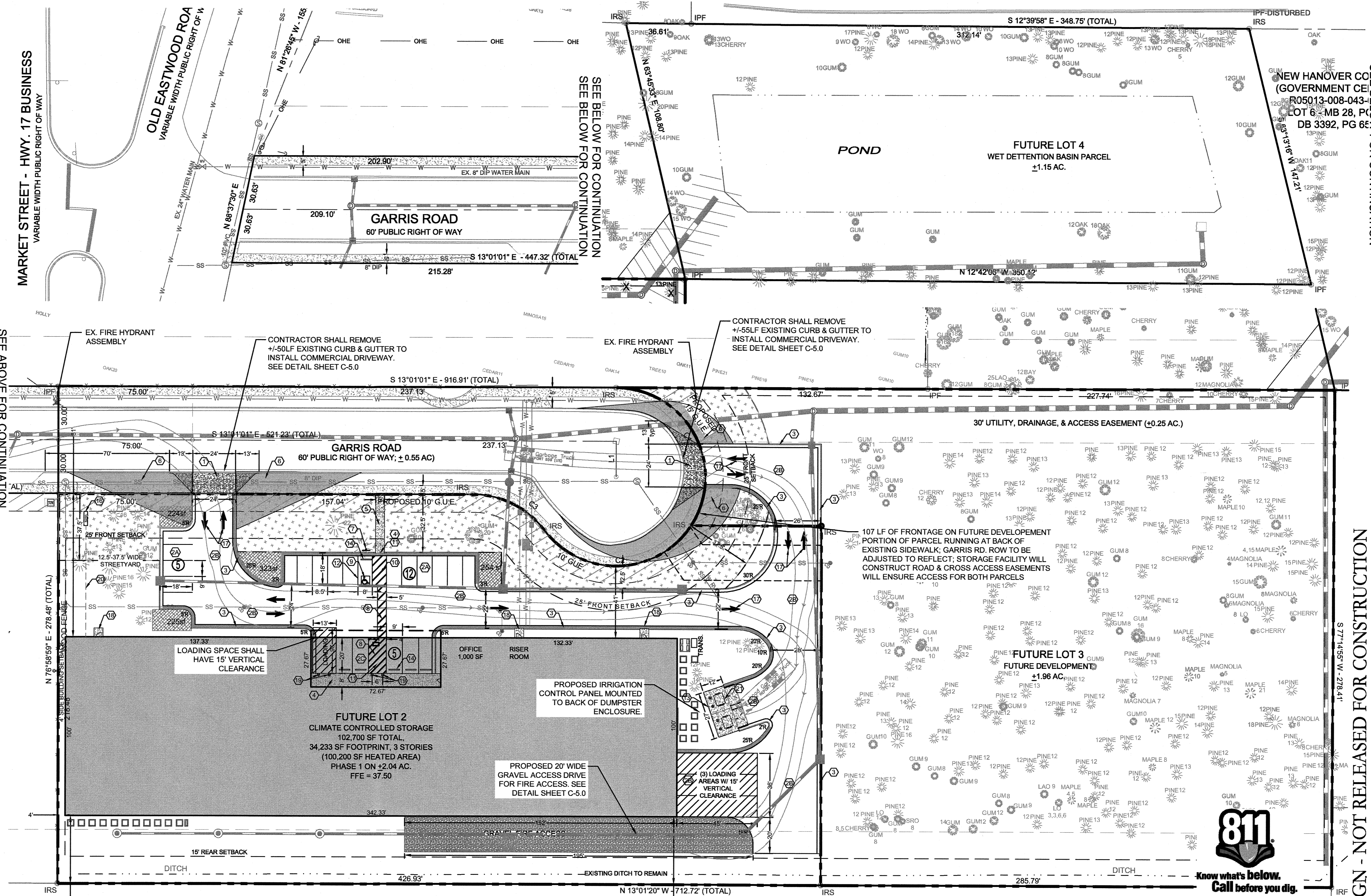
LEGEND:

- SPILL GUTTER
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED CHAIN LINK FENCE
- PROPOSED TREE LINE
- PROPOSED LIGHT POLE
- PROPOSED STREETYARD BUFFER
- PROPOSED LANDSCAPE ISLAND
- PROPOSED TREE PROTECTION FENCE

KEY NOTES:

- CONCRETE DRIVE APRON: CITY STD. DRIVEWAY SD 3-03 REFER TO DETAIL C-5.0
- LIGHT DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0
- HEAVY DUTY ASPHALT PAVING: REFER TO DETAIL C-5.0
- HEAVY DUTY CONCRETE PAVING: REFER TO DETAIL C-5.0
- STANDARD 24" CURB & GUTTER: REFER TO DETAIL C-5.0
- CONCRETE SIDEWALK FLUSH W/ ASPHALT: REFER TO DETAIL C-5.0
- PROPOSED 5" CONCRETE SIDEWALK: REFER TO DETAIL C-5.0
- SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20X70' SIGHT TRIANGLE REFER TO DETAIL C-5.0
- HANDICAP PARKING SIGN: REFER TO DETAIL C-5.0
- DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
- HANDICAP PARKING SYMBOL: REFER TO DETAIL C-5.0
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. REFER TO DETAIL C-5.0
- DETECTABLE & WARNING MAT: REFER TO DETAIL C-5.0
- STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). REFER TO DETAILS ON SHEETS C-5.0 AND C-5.1.
- CONCRETE BUMPER BLOCK: 8" x 4" x 6"-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1/4" LONG #4 REBAR. REFER TO DETAIL C-5.0
- HANDICAP RAMP: REFER TO DETAIL C-5.0
- SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER.
- DIRECTIONAL ARROW STRIPING: PROVIDE DIRECTION ARROW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). REFER TO DETAIL C-5.0
- CONCRETE DOOR LANDING: SEE ARCHITECTURAL PLANS
- STEEL BOLLARD: REFER TO DETAIL C-5.0
- 2" PVC CONDUIT FROM SIGN TO BUILDING: COORDINATE WITH ARCHITECTURAL PLANS
- CONCRETE DUMPSTER PAD: REFER TO DETAIL C-5.0

SIDEWALK NOTE:
 IF SIDEWALK PANELS DO NOT MEET CITY STD. DRIVEWAY SD 3-03 THEY MUST BE REPLACED.



LINE TABLE

LINE	BEARING	DISTANCE
L1	S 77°14'03" W	20.00'

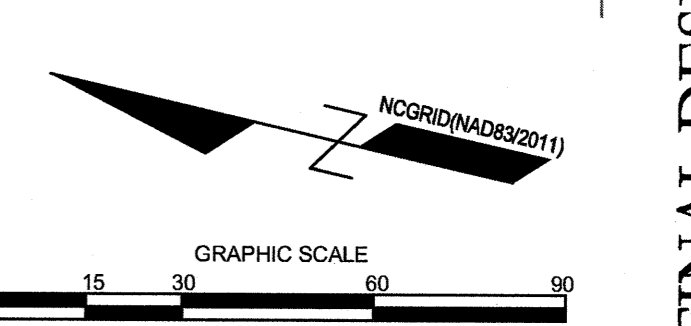
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
C1	50.00'	107.01'	87.72'	S 48°23'44" W	122°37'27"
C2	50.00'	96.35'	82.12'	N 15°05'23" W	110°24'20"
C3	50.00'	46.36'	44.72'	N 13°32'53" E	53°07'48"

NC DENR PWSS WATER PERMIT #:
 WATER CAPACITY: GPD
 DWQ SEWER PERMIT #:
 SEWER CAPACITY: GPD
 SEWER SHED # AND PLANT:
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name: *E.C. Futral*
 Date: *5/2/18*
 Planning: *E.C. Futral*
 Traffic: *W. J. ...*
 Fire: *St. Ch.*

CITY OF WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *5/3/18*
 Scale: *1" = 30'*
 Signed: *[Signature]*



REVISIONS:

REV.	TRC COMMENTS	DATE
REV.1	TRC COMMENTS	2/15/18
REV.2	TRC COMMENTS	3/29/18
REV.3	TRC COMMENTS	4/17/18

CLIENT INFORMATION:
 GARRIS ROAD STORAGE HOLDINGS I, LLC
 11111 CARAMEL COMMONS BLVD, STE 207
 CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6700 (C) (910) 791-6760 (F)
 NC License # C-2846

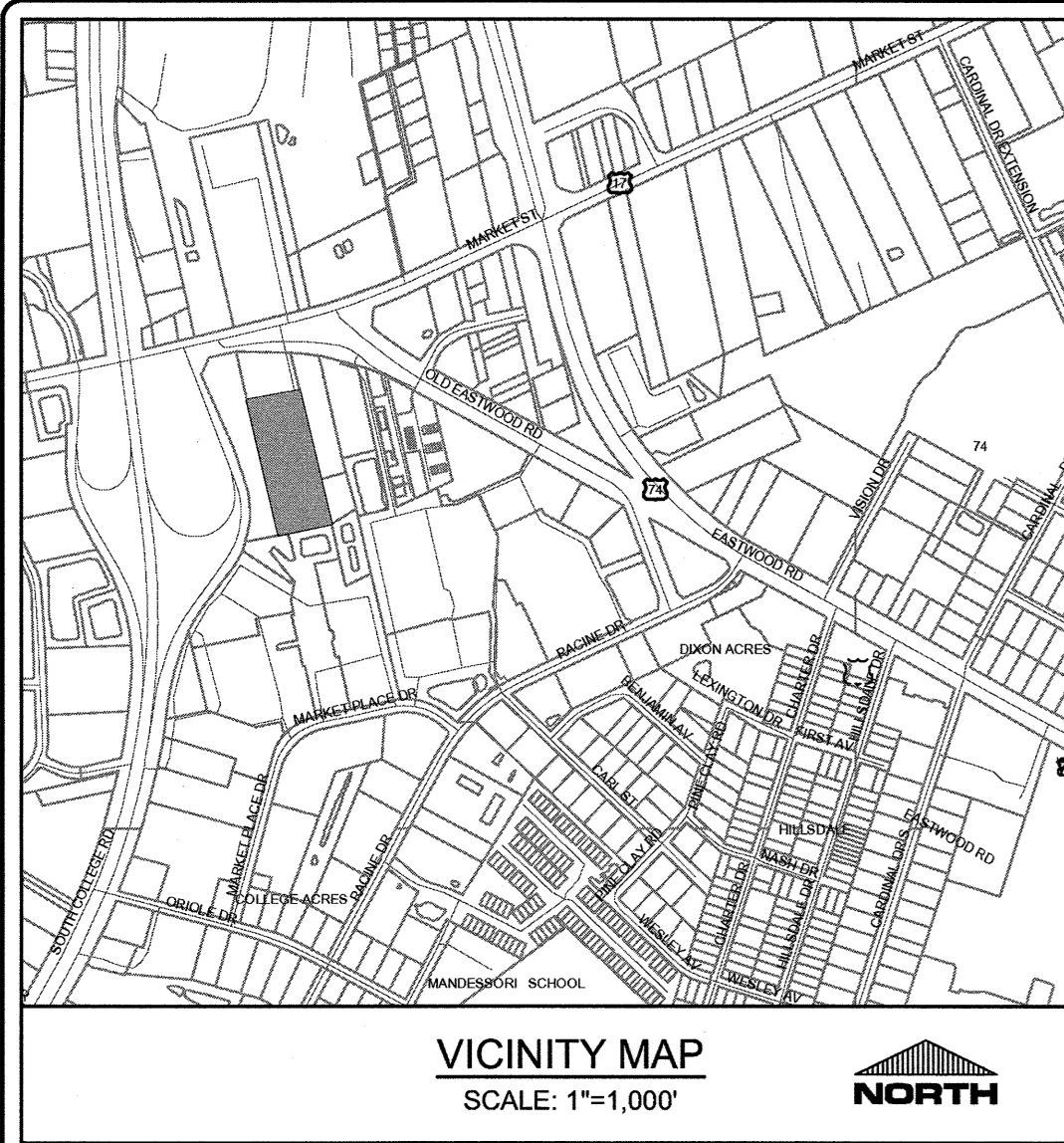
SITE PLAN
 GARRIS ROAD STORAGE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS
 PRELIMINARY LAYOUT: []
 RELEASED FOR CONEST: []
 DRAWING INFORMATION
 DATE: *5/3/18*
 SCALE: *1" = 30'*
 DRAWN: *[Signature]*
 CHECKED: *[Signature]*

SEAL
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL 031591
 ROBERT P. BALLING
 06/23/18

C-2.0
 PEI JOB#: 17148.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION
OWNER INFORMATION:
PROJECT ADDRESS:
TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:

GARRIS ROAD STORAGE HOLDINGS I, LLC
20 GARRIS ROAD
WILMINGTON, NC 28403
R04912-004-002-000
BK 9908 PG 1013
RB - REGIONAL BUSINESS
UNDEVELOPED
PH1: MULTISTORY STORAGE
PH2: FUTURE DEVELOPMENT

- TREE MITIGATION NOTES:**
- ALL TREES ARE REQUIRED FOR ESSENTIAL SITE IMPROVEMENTS.
 - SIGNIFICANT TREES ARE MITIGATED BY A MIXTURE OF TREES SAVED ON THE STORAGE SITE AND USED AS MITIGATION CREDIT, AND RETAINING NATURAL CLUSTER / COMPLIANCE WITH SECTION 18-460 (G).

- TREE REMOVAL NOTES:**
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.
 - CONTRACTOR SHALL CONTACT THE CITY OF WILMINGTON FOR TREE PROTECTION FENCING REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION.

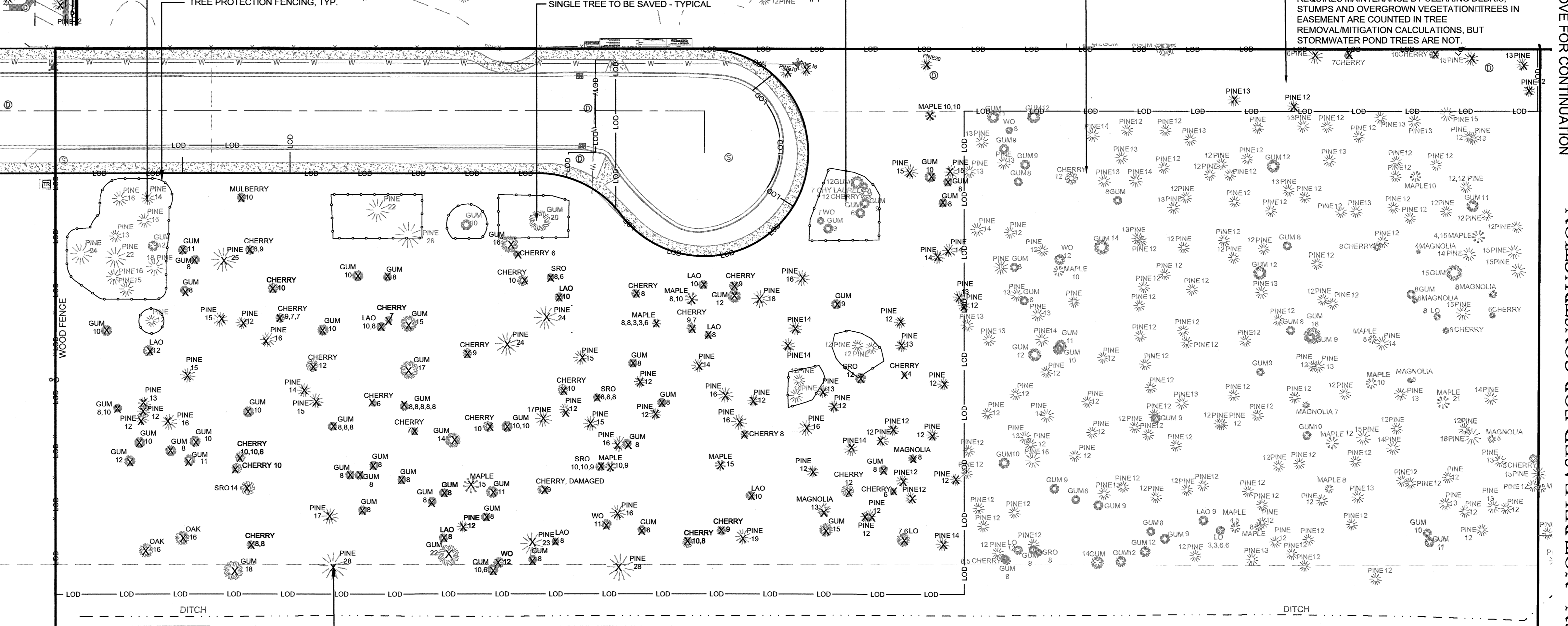
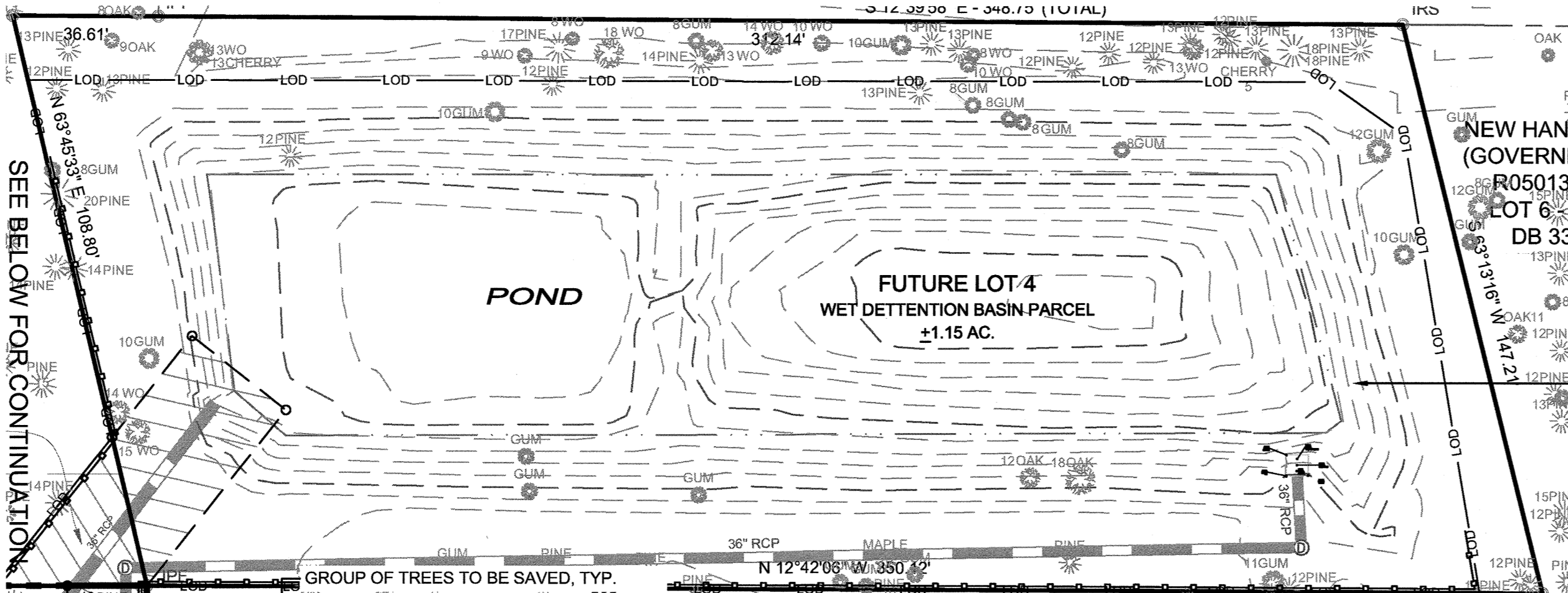
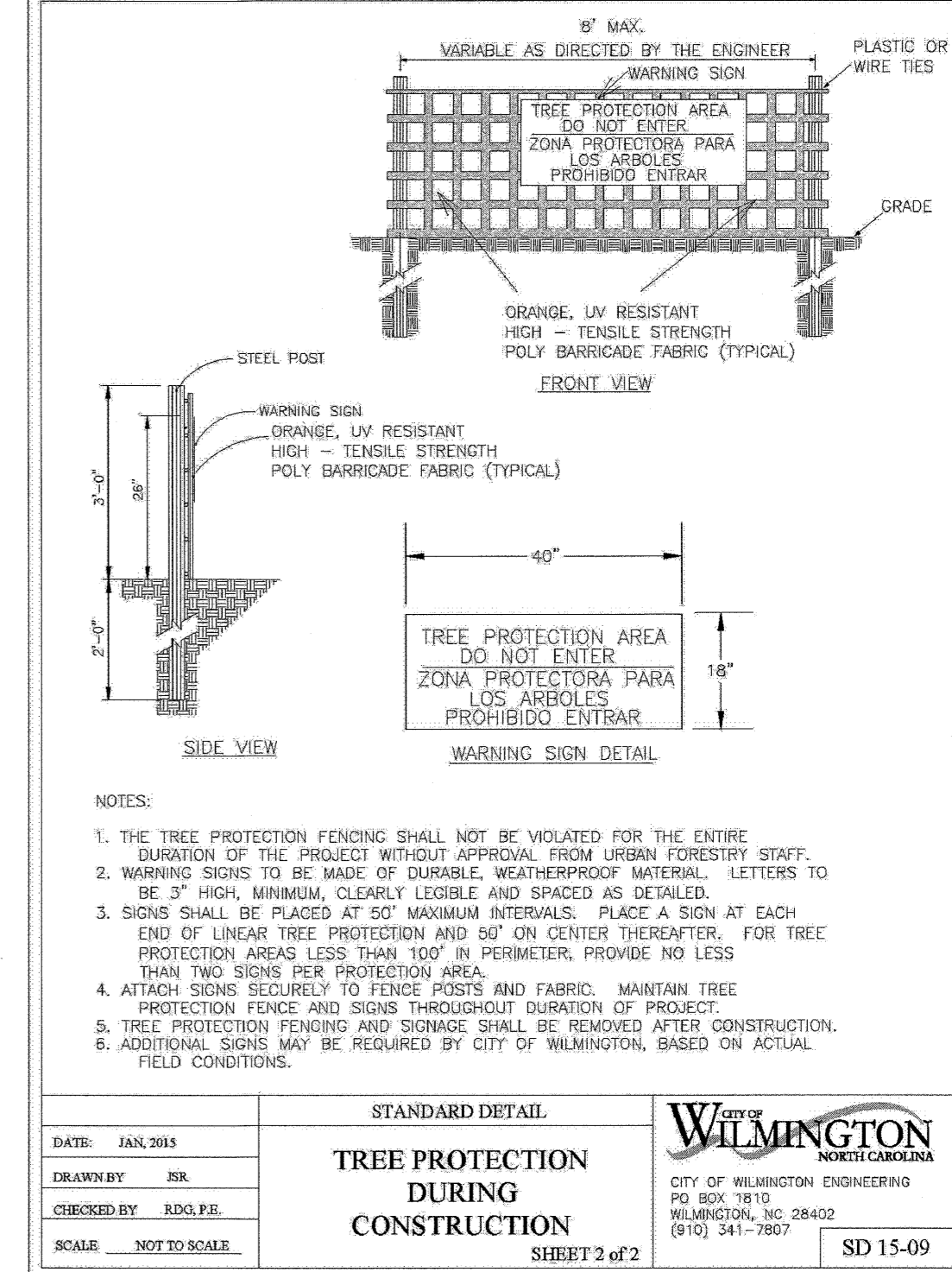
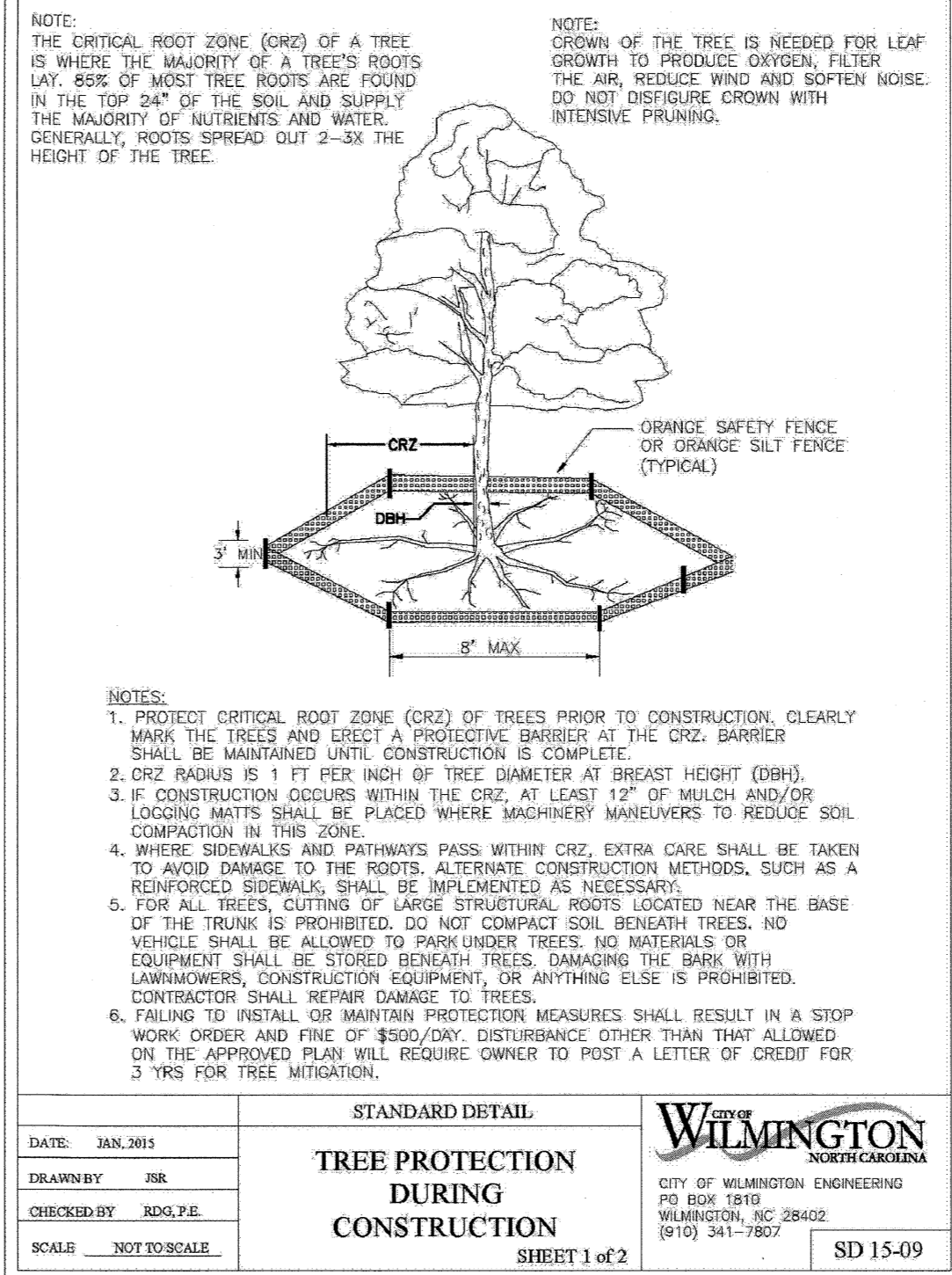
LEGEND:

[Symbol]	SPILL GUTTER
[Symbol]	PROPOSED HEAVY DUTY ASPHALT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED CHAIN LINK FENCE
[Symbol]	PROPOSED TREE LINE
[Symbol]	PROPOSED STREET/YARD BUFFER
[Symbol]	PROPOSED TREE PROTECTION FENCE

Garris Road Storage Tree Preservation Credit
(all trees saved on storage site, not future proposed subdivision tracts)

City of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit	Mitigation Credit for Preserved Trees (# of trees)
1	12	CHERRY	12	3	3
1	7	CHERRY LAUREL	7	2	2
1	6	GUM (SWEET GUM)	6	2	2
2	9	GUM (SWEET GUM)	18	2	4
1	10	GUM (SWEET GUM)	10	2	2
2	12	GUM (SWEET GUM)	24	3	6
1	20	GUM (SWEET GUM)	20	4	4
4	12	PINE (LOBLOLLY)	48	3	12
1	13	PINE (LOBLOLLY)	13	3	3
2	14	PINE (LOBLOLLY)	28	3	6
2	15	PINE (LOBLOLLY)	30	3	6
2	16	PINE (LOBLOLLY)	32	3	6
1	18	PINE (LOBLOLLY)	18	4	4
2	22	PINE (LOBLOLLY)	44	4	8
1	24	PINE (LOBLOLLY)	24	4	4
1	26	PINE (LOBLOLLY)	26	4.33	4
1	7	WATER OAK	7	2	2
TOTAL CALIPER INCHES RETAINED IN NATURAL CLUSTERS ON SITE			367	23	78

Retained trees meet exemption requirement in Section 18-460 (g), over 175 cal. inches / acre retained



Garris Road Storage Tree Removal & Required Mitigation

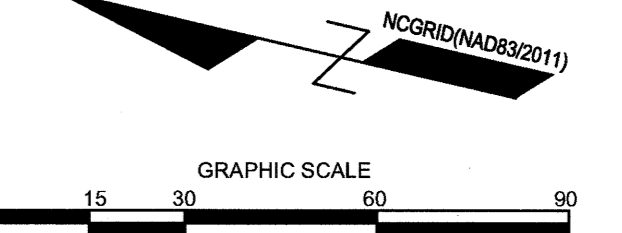
City of Trees	Caliper AND Individual Caliper	Tree Common Name	City Tree Classification	Total Cal. Inches to be Retained	% Mitigation	Significant	Total City of Mitigation
Category 1 (100% Mitigation)							
1	18	MAG	ornamental Flowering	18	100%	4	4
1	18	MAG	ornamental Flowering	18	100%	3	3
1	26	MAP (RED MAPLE)	hardwood	26	100%	yes	26
1	18	MAP (RED MAPLE)	hardwood	18	100%	5	5
1	18	MAP (RED MAPLE)	hardwood	18	100%	5	5
1	20	MAP (RED MAPLE)	hardwood	20	100%	7	7
1	18	MAP (RED MAPLE)	hardwood	18	100%	4	4
3	8	DAK (LAUREL OAK)	hardwood	24	100%	8	8
3	10	DAK (LAUREL OAK)	hardwood	30	100%	10	10
1	12	DAK (LAUREL OAK)	hardwood	12	100%	4	4
2	16	DAK (LAUREL OAK)	hardwood	32	100%	11	11
1	18	DAK (LAUREL OAK)	hardwood	18	100%	6	6
1	12	DAK (SOUTHERN RED OAK)	hardwood	12	100%	4	4
1	14	DAK (SOUTHERN RED OAK)	hardwood	14	100%	5	5
1	24	DAK (SOUTHERN RED OAK)	hardwood	24	100%	yes	24
1	28	DAK (SOUTHERN RED OAK)	hardwood	28	100%	yes	28
1	11	WATER OAK	hardwood	11	100%	3	3
1	12	WATER OAK	hardwood	12	100%	4	4
Category 2 (75% Mitigation)							
2	8	GUM (SWEET GUM)	hardwood	160	75%	40	40
2	9	GUM (SWEET GUM)	hardwood	18	75%	4	4
2	10	GUM (SWEET GUM)	hardwood	20	75%	15	15
2	11	GUM (SWEET GUM)	hardwood	22	75%	16	16
2	12	GUM (SWEET GUM)	hardwood	24	75%	6	6
2	13	GUM (SWEET GUM)	hardwood	26	75%	4	4
2	14	GUM (SWEET GUM)	hardwood	28	75%	8	8
2	15	GUM (SWEET GUM)	hardwood	30	75%	6	6
2	16	GUM (SWEET GUM)	hardwood	32	75%	4	4
2	17	GUM (SWEET GUM)	hardwood	34	75%	4	4
2	18	GUM (SWEET GUM)	hardwood	36	75%	5	5
2	19	GUM (SWEET GUM)	hardwood	38	75%	6	6
2	20	GUM (SWEET GUM)	hardwood	40	75%	5	5
2	22	GUM (SWEET GUM)	hardwood	44	75%	6	6
2	24	GUM (SWEET GUM)	hardwood	48	75%	yes	18
2	26	GUM (SWEET GUM)	hardwood	52	75%	yes	26
2	28	GUM (SWEET GUM)	hardwood	56	75%	yes	28
Category 3 (50% Mitigation)							
3	12	PINE (LOBLOLLY)	conifer	78	50%	46	46
3	14	PINE (LOBLOLLY)	conifer	84	50%	42	42
3	16	PINE (LOBLOLLY)	conifer	112	50%	56	56
3	18	PINE (LOBLOLLY)	conifer	126	50%	72	72
3	20	PINE (LOBLOLLY)	conifer	140	50%	70	70
3	22	PINE (LOBLOLLY)	conifer	154	50%	77	77
3	24	PINE (LOBLOLLY)	conifer	168	50%	84	84
3	26	PINE (LOBLOLLY)	conifer	182	50%	91	91
3	28	PINE (LOBLOLLY)	conifer	196	50%	98	98
3	30	PINE (LOBLOLLY)	conifer	210	50%	105	105
3	32	PINE (LOBLOLLY)	conifer	224	50%	112	112
3	34	PINE (LOBLOLLY)	conifer	238	50%	119	119
3	36	PINE (LOBLOLLY)	conifer	252	50%	126	126
3	38	PINE (LOBLOLLY)	conifer	266	50%	133	133
3	40	PINE (LOBLOLLY)	conifer	280	50%	140	140
3	42	PINE (LOBLOLLY)	conifer	294	50%	147	147
3	44	PINE (LOBLOLLY)	conifer	308	50%	154	154
3	46	PINE (LOBLOLLY)	conifer	322	50%	161	161
3	48	PINE (LOBLOLLY)	conifer	336	50%	168	168
3	50	PINE (LOBLOLLY)	conifer	350	50%	175	175
3	52	PINE (LOBLOLLY)	conifer	364	50%	182	182
3	54	PINE (LOBLOLLY)	conifer	378	50%	189	189
3	56	PINE (LOBLOLLY)	conifer	392	50%	196	196
3	58	PINE (LOBLOLLY)	conifer	406	50%	203	203
3	60	PINE (LOBLOLLY)	conifer	420	50%	210	210
3	62	PINE (LOBLOLLY)	conifer	434	50%	217	217
3	64	PINE (LOBLOLLY)	conifer	448	50%	224	224
3	66	PINE (LOBLOLLY)	conifer	462	50%	231	231
3	68	PINE (LOBLOLLY)	conifer	476	50%	238	238
3	70	PINE (LOBLOLLY)	conifer	490	50%	245	245
3	72	PINE (LOBLOLLY)	conifer	504	50%	252	252
3	74	PINE (LOBLOLLY)	conifer	518	50%	259	259
3	76	PINE (LOBLOLLY)	conifer	532	50%	266	266
3	78	PINE (LOBLOLLY)	conifer	546	50%	273	273
3	80	PINE (LOBLOLLY)	conifer	560	50%	280	280
3	82	PINE (LOBLOLLY)	conifer	574	50%	287	287
3	84	PINE (LOBLOLLY)	conifer	588	50%	294	294
3	86	PINE (LOBLOLLY)	conifer	602	50%	301	301
3	88	PINE (LOBLOLLY)	conifer	616	50%	308	308
3	90	PINE (LOBLOLLY)	conifer	630	50%	315	315
3	92	PINE (LOBLOLLY)	conifer	644	50%	322	322
3	94	PINE (LOBLOLLY)	conifer	658	50%	329	329
3	96	PINE (LOBLOLLY)	conifer	672	50%	336	336
3	98	PINE (LOBLOLLY)	conifer	686	50%	343	343
3	100	PINE (LOBLOLLY)	conifer	700	50%	350	350
Category 4 (25% Mitigation)							
4	8	MULBERRY	hardwood	10	25%	yes	2
Total City of Mitigation Trees (Significant trees only as all removals are for essential site improvements)							
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NODENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 2/13/15 0000013.01
Signed: _____



REVISIONS:
REV 1: TRC COMMENTS
REV 2: TRC COMMENTS
REV 3: TRC COMMENTS

CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS I, LLC
11111 CAMEL COMMONS BLVD., STE 207
CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

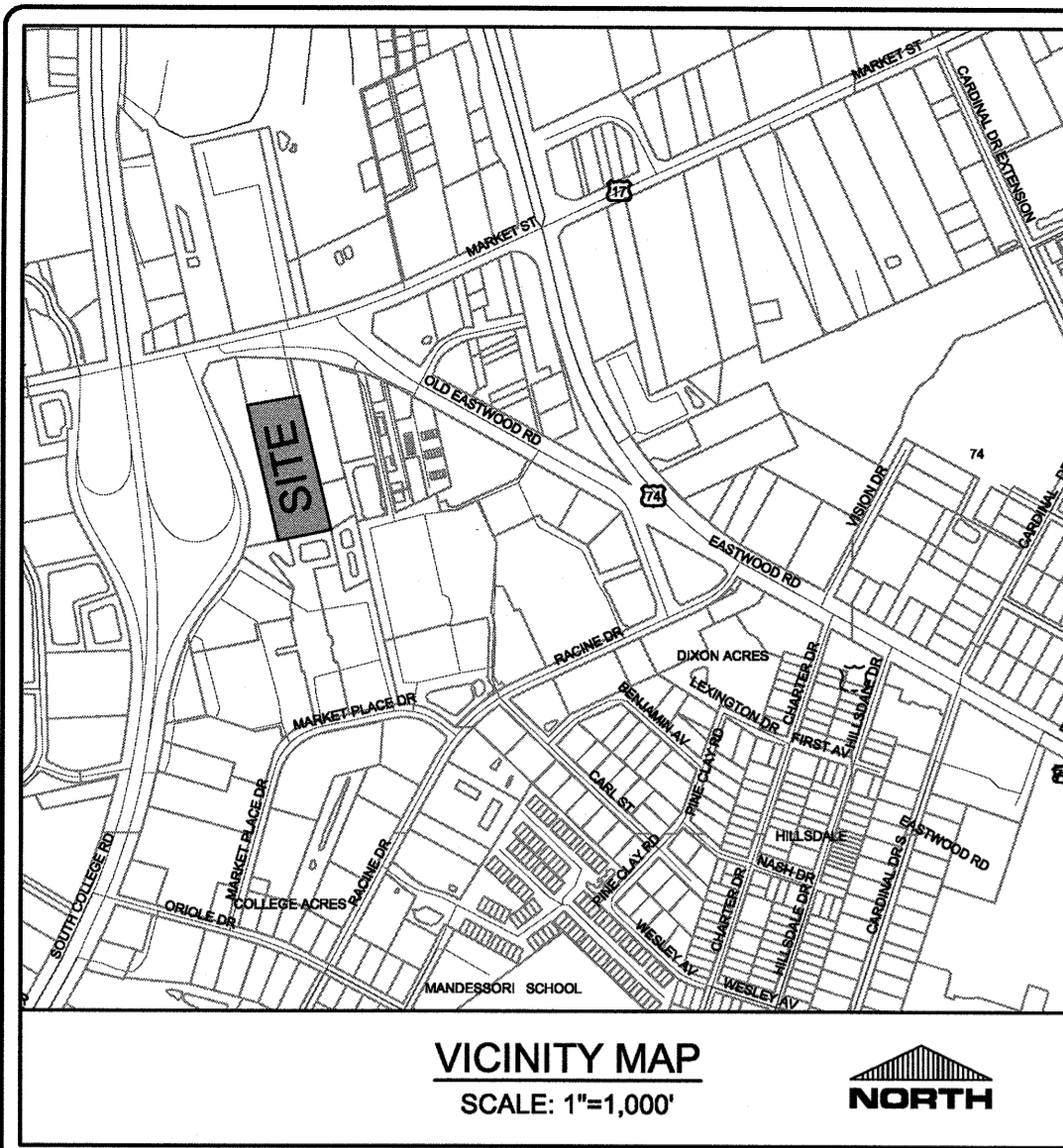
TREE REMOVAL PLAN
GARRIS ROAD STORAGE
CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS:
FINAL DESIGN: _____
PRELIMINARY LAYOUT: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
DATE: 01/29/15
SCALE: 1"=90'
DRAWN: _____
CHECKED: _____

SEAL: _____
031591
04/11/18

C-2.1
PEI JOB#: 17148.PE



VICINITY MAP
SCALE: 1"=1,000'

- ASPHALT AREA NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- BUILDING PAD NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- STORMWATER NOTE:**
1. THIS PROJECT DRAINS TO AN EXISTING OFF-SITE STORM WET DETENTION BASIN.
- GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PARKING LOT IS PAVED.
3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
4. ALL PROPOSED SPOT ELEVATIONS SHOWN IN THE PARKING LOT ARE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB @ GUTTER FOR CURB SECTIONS, UNLESS NOTED OTHERWISE.
5. ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION FIRST.
6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY

- DISCREPANCIES TO OWNER AND/OR ENGINEER.
7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.
8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING REPORT FOR GARRIS ROAD MINI STORAGE - WILMINGTON, NC, PREPARED BY ECS CAROLINAS, LLP, PROJECT NUMBER: 22.25596R1, AND DATED AUGUST 2, 2017 FOR SITE CONSTRUCTION RECOMMENDATIONS.
9. CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.

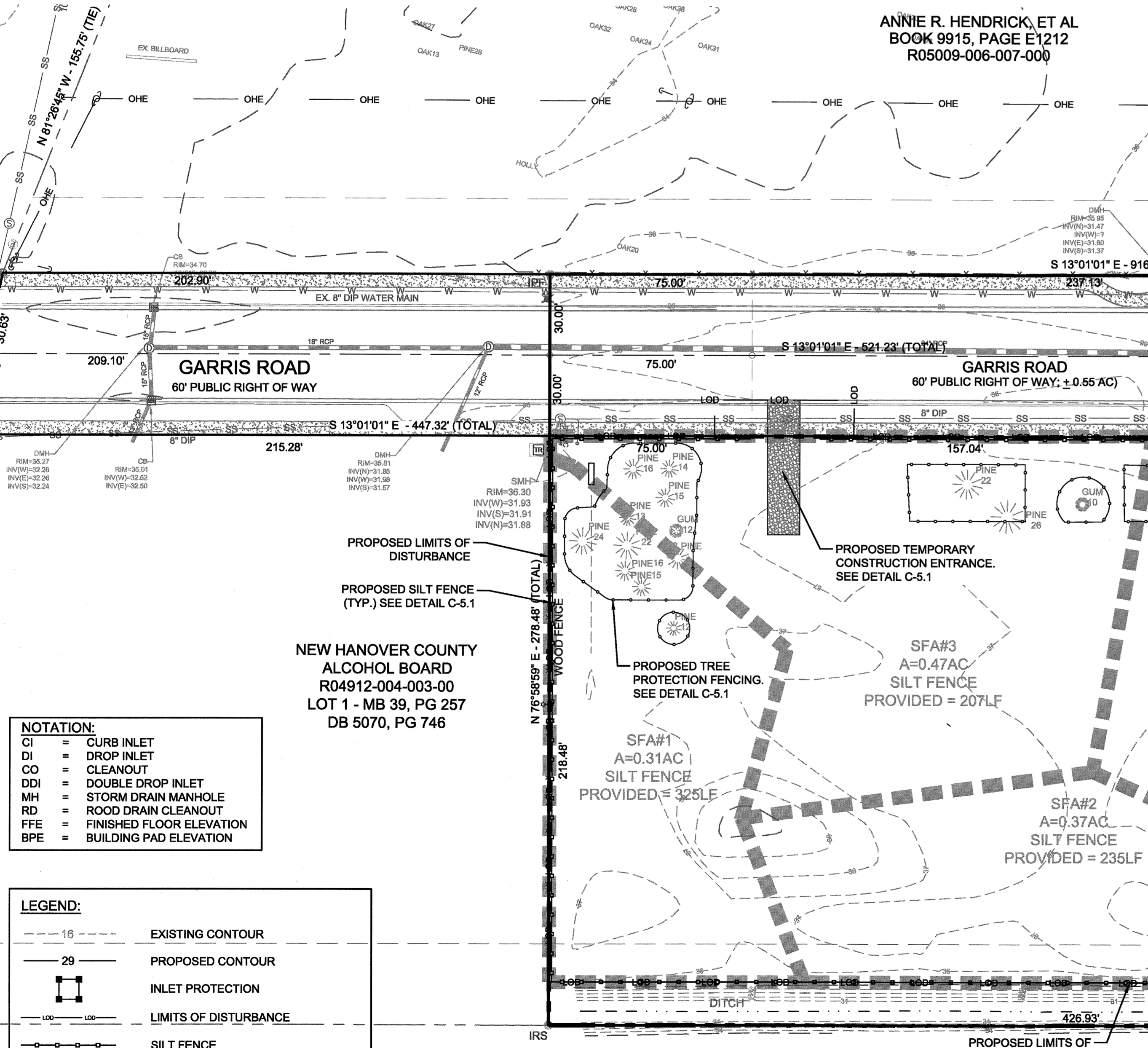
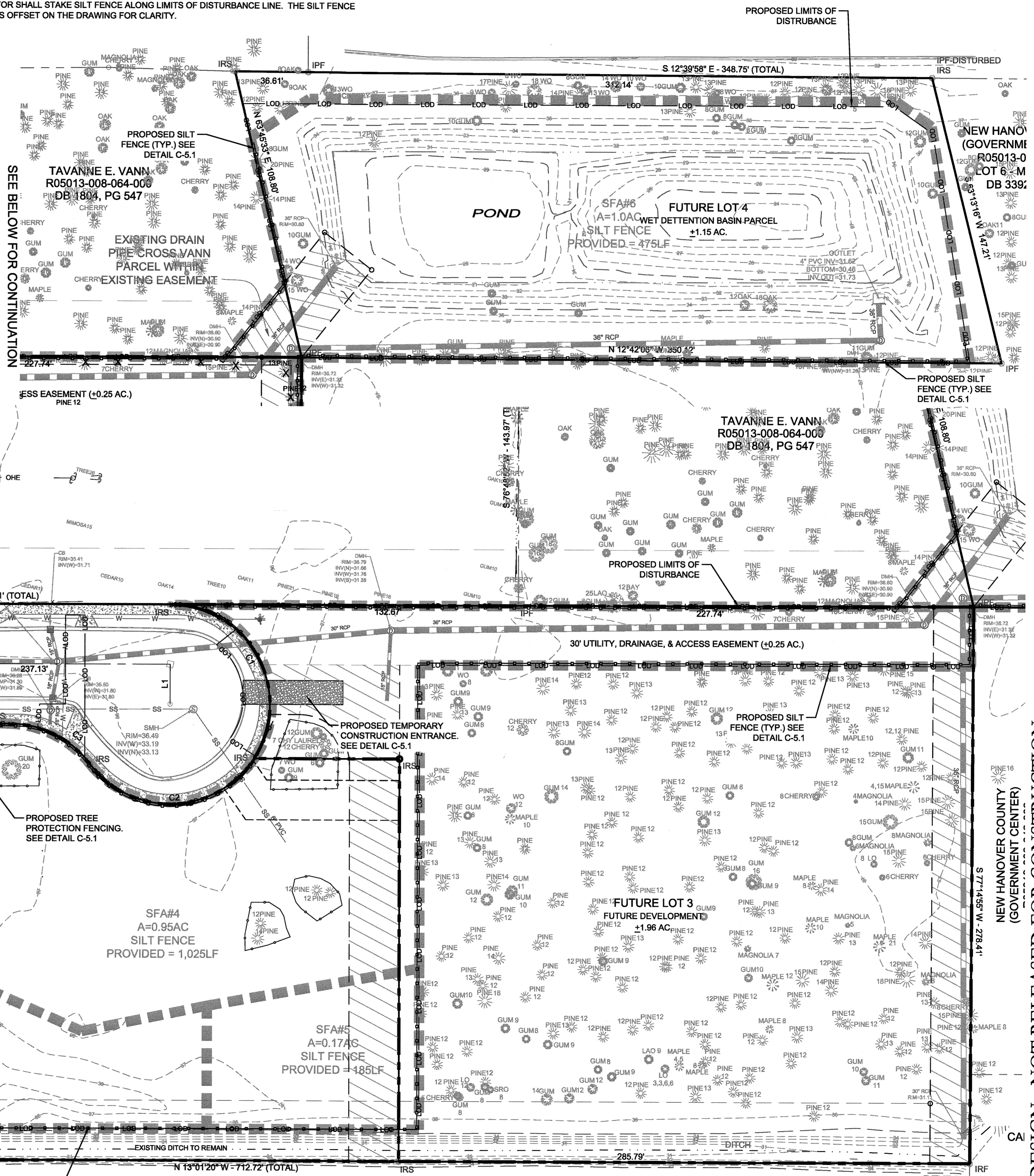
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NC DENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 5/3/18 2000013.01
Signed: _____

Approved Construction Plan
Name: _____ Date: 5-2-18
Planning: E.K. Tuttle
Traffic: _____
Fire: _____



NOTATION:

CI	=	CURB INLET
DI	=	DROP INLET
CO	=	CLEANOUT
DDI	=	DOUBLE DROP INLET
MH	=	STORM DRAIN MANHOLE
RD	=	ROAD DRAIN CLEANOUT
FFE	=	FINISHED FLOOR ELEVATION
BPE	=	BUILDING PAD ELEVATION

LEGEND:

---	16	EXISTING CONTOUR
---	29	PROPOSED CONTOUR
□		INLET PROTECTION
---		LIMITS OF DISTURBANCE
---		SILT FENCE
---		TREE PROTECTION FENCING
---		ROCK INLET PROTECTION

REVISIONS: REV:1 TRC COMMENTS 2/15/18

CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS I, LLC
11111 CARMEI COMMONS BLVD., STE. 207
CHARLOTTE, NC 28226

PARAMOUNTE ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

PH. I EROSION CONTROL PLAN
GARRIS RD. MINI STORAGE
CITY OF WILMINGTON
NORTH CAROLINA

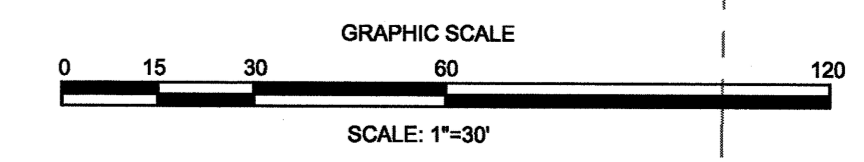
PROJECT STATUS:
PRELIMINARY LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:
DATE: 03/24/18
SCALE: 1"=30'
DRAWN: RPB
CHECKED: RPB

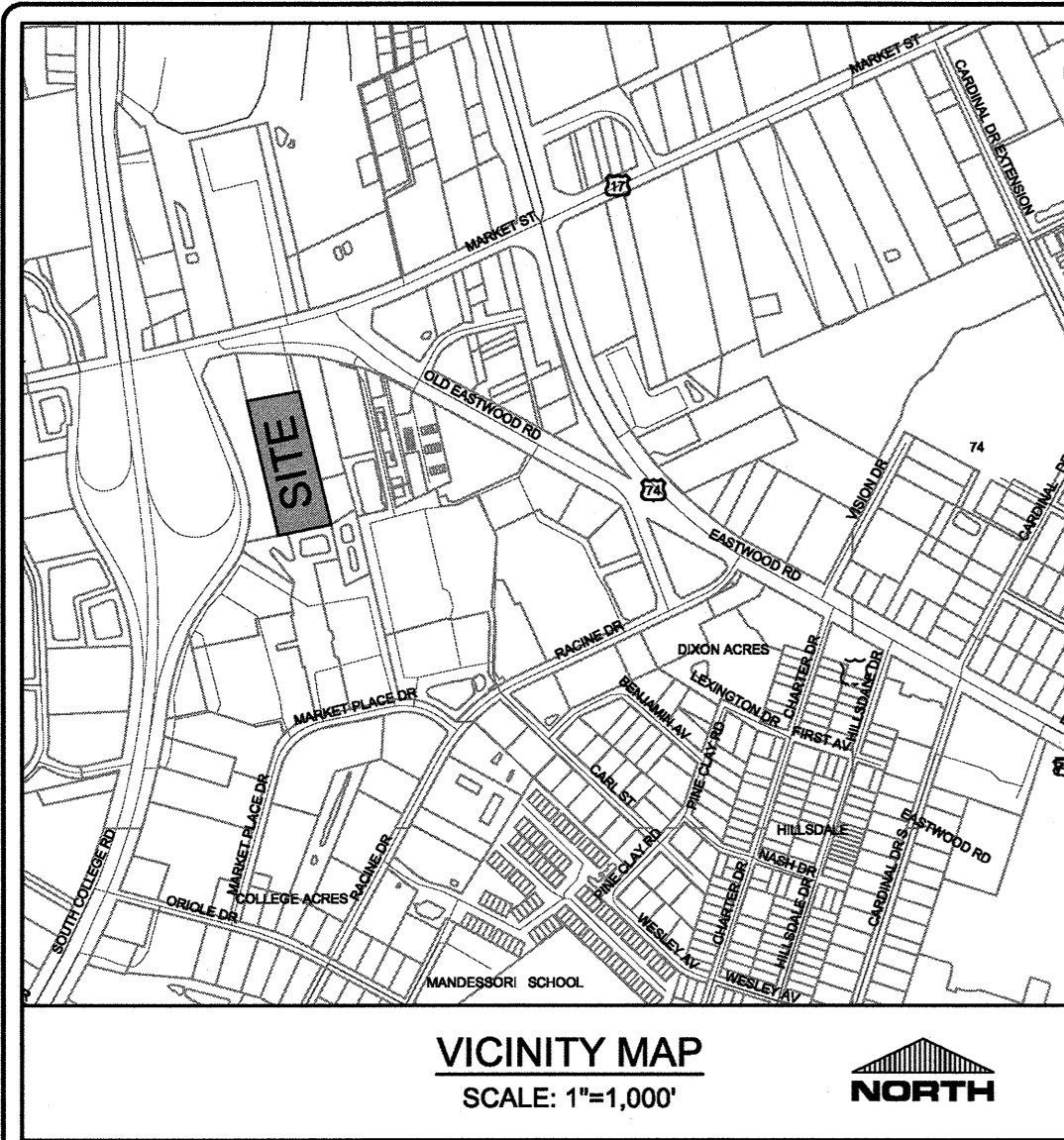
SEAL:
NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
ROBERT P. BALLING
03/24/18

C-3.0
PEI JOB#: 17148.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



CAPITAL MJ PROPERTIES, LLC
R04912-004-001-000
DB 5571, PG 2885



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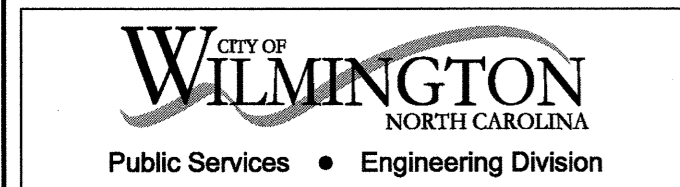
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STORM SEWER SCHEDULE:

Upstream Node	Downstream Node	Diameter (in)	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)	Downstream Rim Elev (ft)	Pipe Material
CI-3	CI-2	15	32.83	32.26	192	0.30	36.08	36.55	RCP III
CI-2	MH-1	18	32.07	31.80	60	0.45	36.55	35.50	RCP III
CI-4	CI-2	15	32.56	32.26	100	0.30	36.55	36.55	RCP III
CO-13	CO-12	12	34.63	34.35	57	0.50	37.00	37.00	HDPE
CO-12	CO-11	12	34.25	34.07	57	0.32	37.00	37.00	HDPE
CO-11	CO-10	15	33.97	33.79	57	0.32	37.00	37.18	HDPE
CO-10	CO-9	15	33.69	33.51	57	0.32	37.18	37.14	HDPE
CO-9	CO-8	18	33.41	33.24	54	0.32	37.14	37.21	HDPE
CO-8	CO-7	18	33.14	32.87	75	0.36	37.21	37.00	HDPE
CO-7	CI-6	18	32.77	32.60	53	0.32	37.00	36.12	RCP III
CI-6	CI-5	18	32.50	31.73	176	0.44	36.12	35.92	RCP III



APPROVED STORMWATER MANAGEMENT PLAN
Date: 5/3/18
Signed: [Signature]

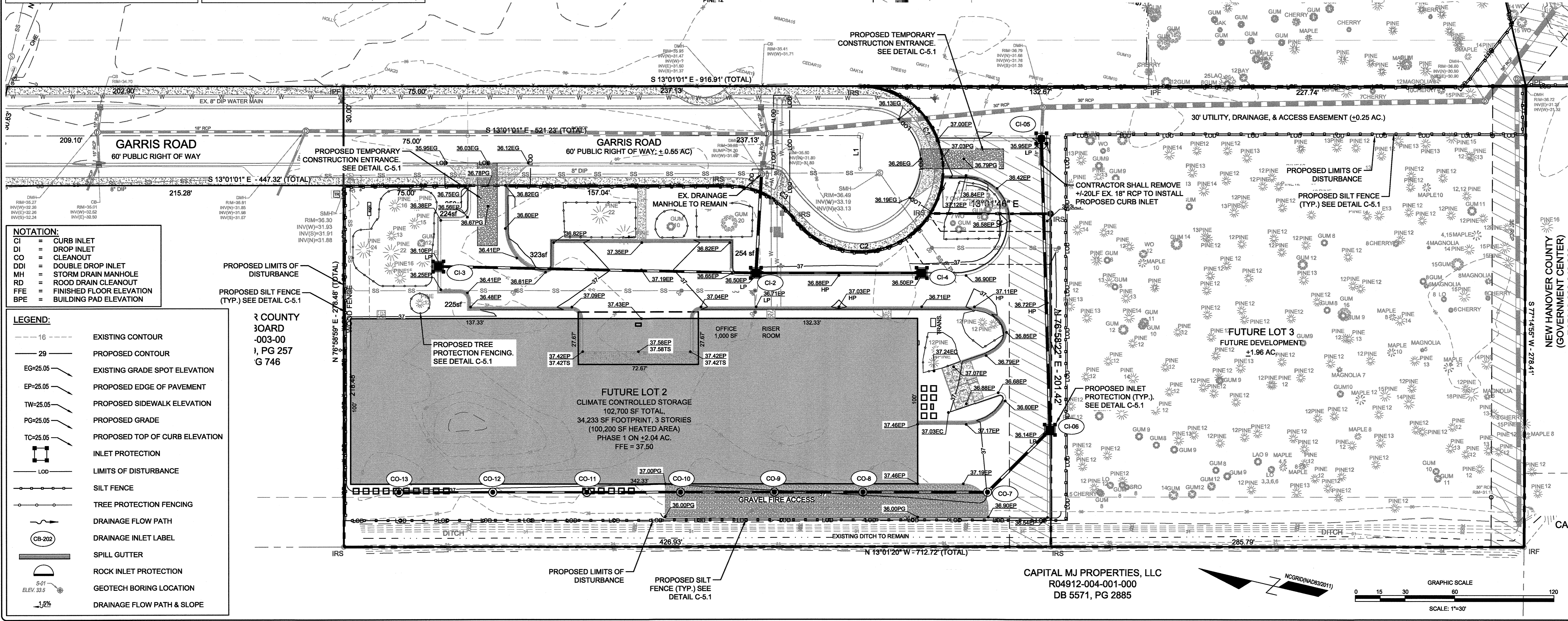
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Approved Construction Plan

Name	Date
Planning: E.K. Futral	5-2-18
Traffic: W. Anderson	5-1-18
Fire: [Signature]	5/2/18

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)



NOTATION:

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- DI = DROP INLET
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- MH = STORM DRAIN MANHOLE
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- BPE = BUILDING PAD ELEVATION

LEGEND:

- 16 --- EXISTING CONTOUR
- 29 --- PROPOSED CONTOUR
- EQ-25.05 EXISTING GRADE SPOT ELEVATION
- EP-25.05 PROPOSED EDGE OF PAVEMENT
- TW-25.05 PROPOSED SIDEWALK ELEVATION
- PG-25.05 PROPOSED GRADE
- TC-25.05 PROPOSED TOP OF CURB ELEVATION
- [Symbol] INLET PROTECTION
- LOD LIMITS OF DISTURBANCE
- [Symbol] SILT FENCE
- [Symbol] TREE PROTECTION FENCING
- [Symbol] DRAINAGE FLOW PATH
- [Symbol] DRAINAGE INLET LABEL
- [Symbol] SPILL GUTTER
- [Symbol] ROCK INLET PROTECTION
- [Symbol] GEOTECH BORING LOCATION
- [Symbol] DRAINAGE FLOW PATH & SLOPE

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/15/18	REV.1 TRC COMMENTS

CLIENT INFORMATION:

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License #: C-2846

GRADING-DRAINAGE-EC PLAN

GARRIS RD. MINI STORAGE
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
DESIGN: []
CONSTRUCTION: []
OPERATION: []

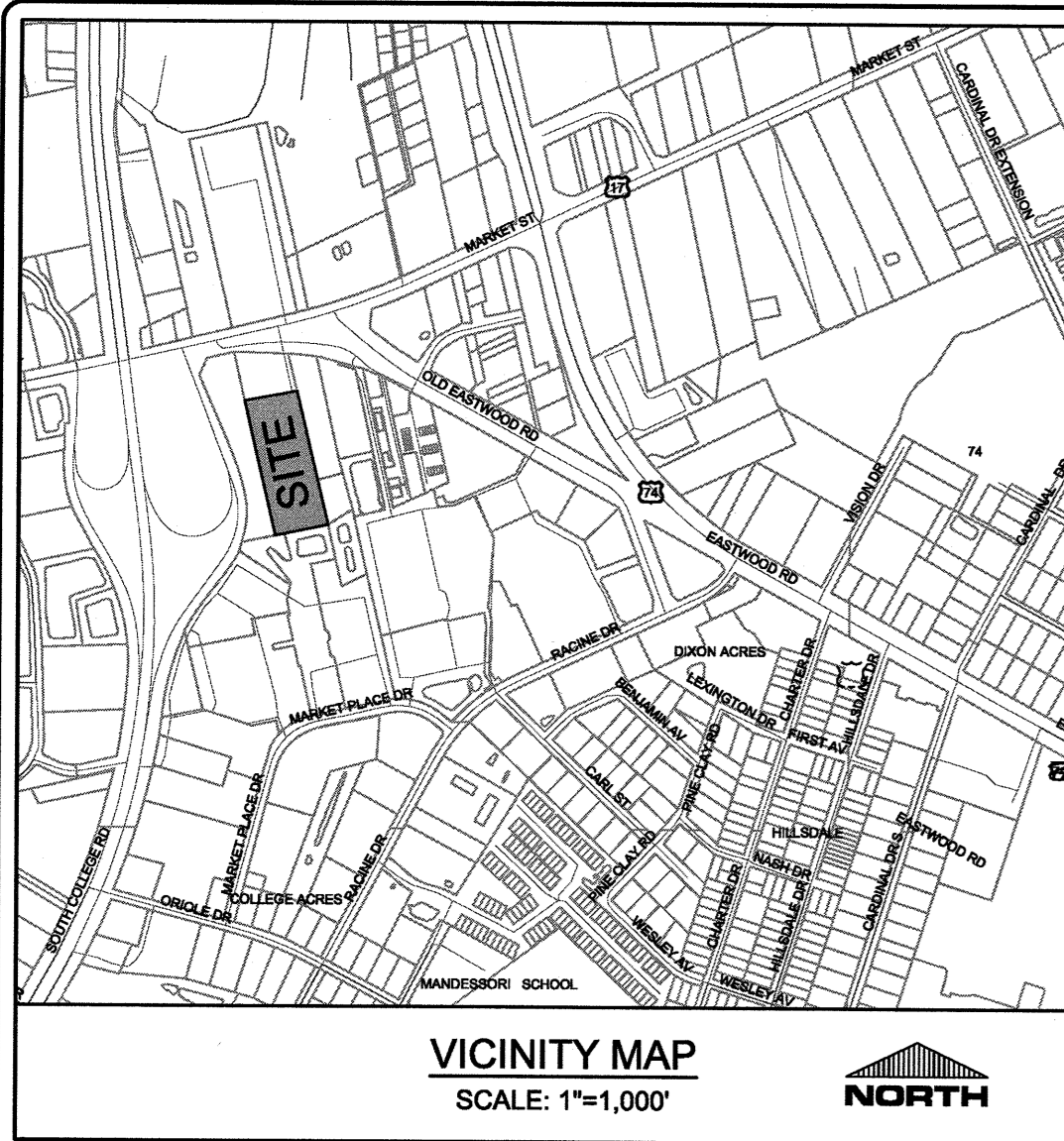
DRAWING INFORMATION:
DATE: 03/24/18
SCALE: 1"=30'
DRAWN: []
CHECKED: []

PROFESSIONAL SEAL:
ROBERT S. BILLING
ENGINEER
03/24/18

C-3.1

PEI JOB#: 17148.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 5/3/18
 Signed: *[Signature]*



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning: <i>E. V. J. J. J.</i>	5-2-18
Traffic: <i>W. S. J. J.</i>	5-1-18
Fire: <i>J. C. J.</i>	5/2/18

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

REVISIONS:

REV.	TRC COMMENTS	DATE
1		2/15/18

CLIENT INFORMATION:
 GARRIS ROAD STORAGE HOLDINGS I, LLC
 11111 CARMEL COMMONS BLVD., STE. 207
 CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

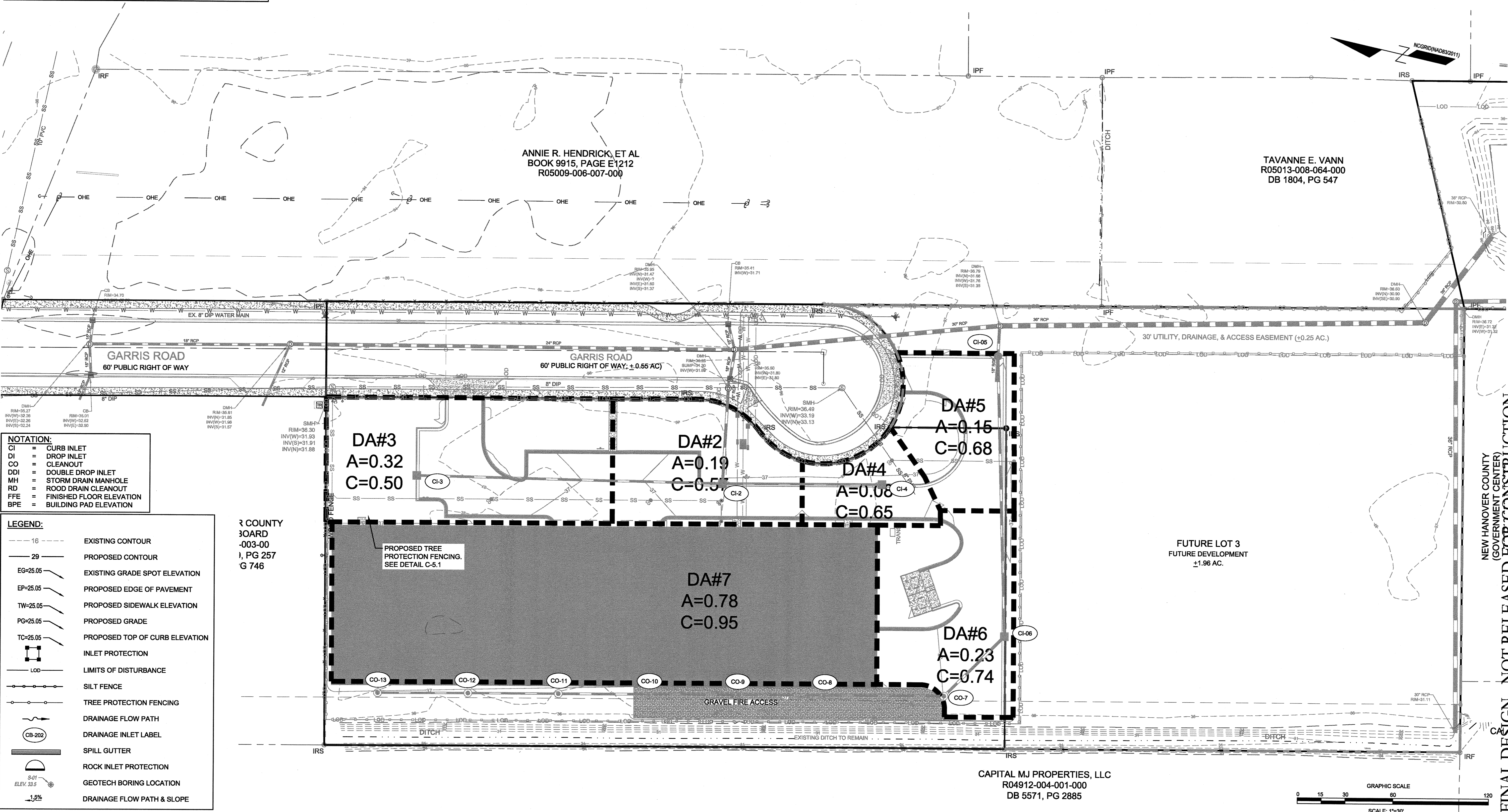
INLET AREA MAP
 GARRIS RD. MINI STORAGE
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 PRELIMINARY LAYOUT: _____
 RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
 DRAWN BY: _____
 SCALE: _____
 DESIGNED BY: _____
 CHECKED BY: _____

SEALED PROFESSIONAL ENGINEER
 ROBERT P. BALLING
 03/24/18

C-3.2
 PEI JOB#: 17148.PE

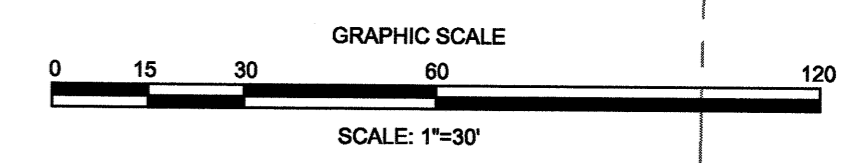


- NOTATION:**
- CI = CURB INLET
 - DI = DROP INLET
 - CO = CLEANOUT
 - DDI = DOUBLE DROP INLET
 - MH = STORM DRAIN MANHOLE
 - RD = ROAD DRAIN CLEANOUT
 - FFE = FINISHED FLOOR ELEVATION
 - BPE = BUILDING PAD ELEVATION

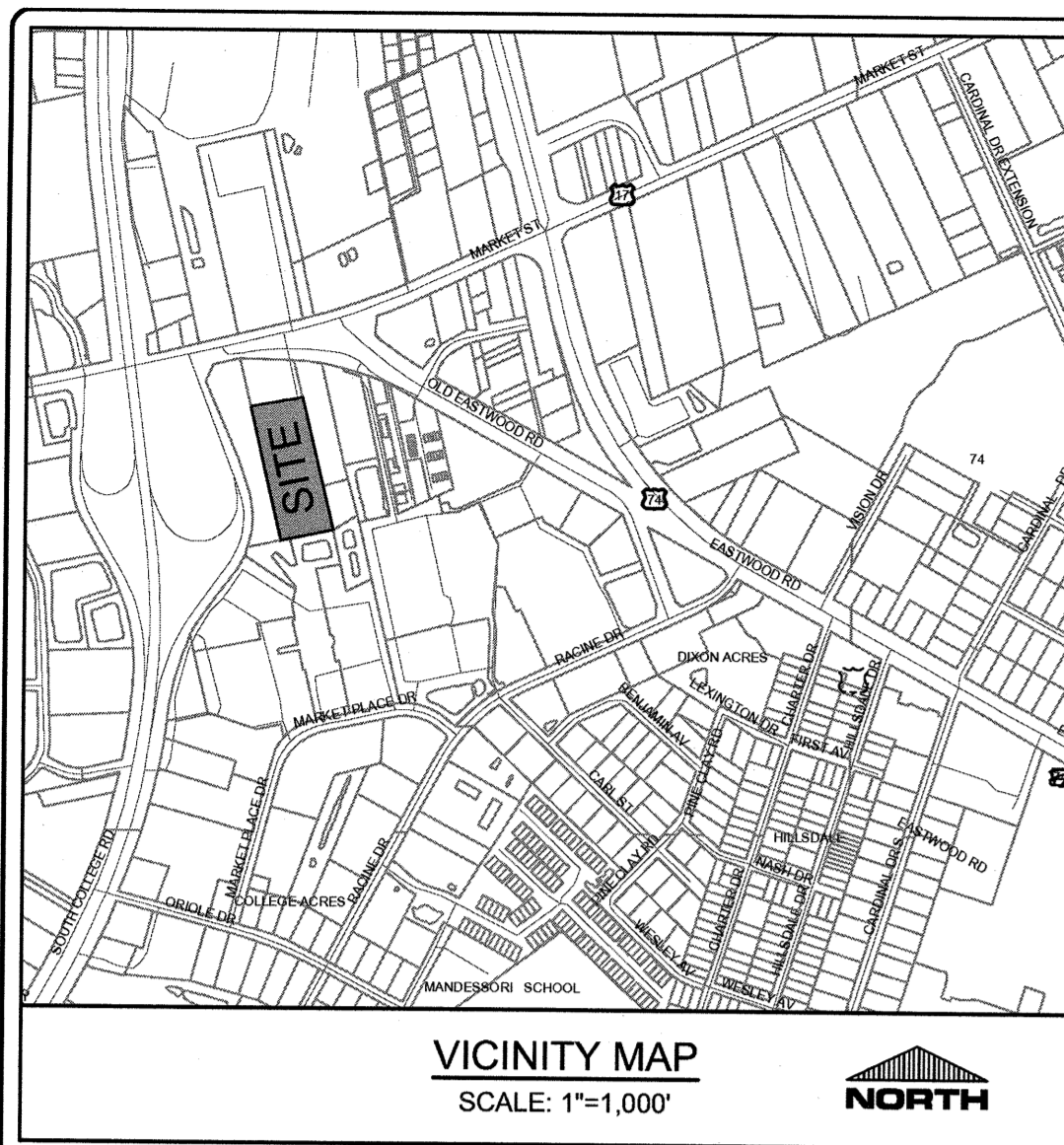
- LEGEND:**
- 16 --- EXISTING CONTOUR
 - 29 --- PROPOSED CONTOUR
 - EG=25.05 --- EXISTING GRADE SPOT ELEVATION
 - EP=25.05 --- PROPOSED EDGE OF PAVEMENT
 - TW=25.05 --- PROPOSED SIDEWALK ELEVATION
 - PG=25.05 --- PROPOSED GRADE
 - TC=25.05 --- PROPOSED TOP OF CURB ELEVATION
 - [Symbol] --- INLET PROTECTION
 - LOD --- LIMITS OF DISTURBANCE
 - [Symbol] --- SILT FENCE
 - [Symbol] --- TREE PROTECTION FENCING
 - [Symbol] --- DRAINAGE FLOW PATH
 - CB-202 --- DRAINAGE INLET LABEL
 - [Symbol] --- SPILL GUTTER
 - [Symbol] --- ROCK INLET PROTECTION
 - S-01 --- GEOTECH BORING LOCATION
 - [Symbol] --- DRAINAGE FLOW PATH & SLOPE

3 COUNTY BOARD
 003-00
 I, PG 257
 G 746

CAPITAL MJ PROPERTIES, LLC
 R04912-004-001-000
 DB 5571, PG 2885



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



UTILITY INFORMATION

SANITARY SEWER
THIS PROJECT IS PROVIDING A NEW SEWER SERVICE TO AN EXISTING 8-INCH GRAVITY MAIN LOCATED WITHIN THE SHORT SIDE OF GARRIS ROAD RIGHT OF WAY. THIS PROJECT IS PROPOSING A 4-INCH SERVICE AND SANITARY SEWER ALLOCATION IS PROVIDED BY CFPWA.

WATER
A 8-INCH WATER MAIN IS LOCATED WITHIN THE LONG SIDE OF GARRIS ROAD RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 8-INCH FIRE SERVICE AND A 1-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. DOMESTIC WATER ALLOCATION PROVIDED BY CFPWA.

FLOOD NOTE
THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)

- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

5. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

6. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

FIRE & LIFE SAFETY NOTES:

- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THIS CAN BE SATISFIED BY INSTALLING THE BASE COURSE OF THE PROPOSED PAVEMENT SECTION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY CITY OF WILMINGTON FIRE & LIFE SAFETY FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.
- CONSTRUCTION TYPE - IIB, BUILDING WILL BE SPRINKLED.
- ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 5/3/18 Permit # 2000013 R21
Signed: [Signature]

Approved Construction Plan
Name: E.K. Tipton Date: 5-2-18
Planning: [Signature] 5-1-18
Traffic: [Signature] 5-1-18
Fire: [Signature] 5/2/18

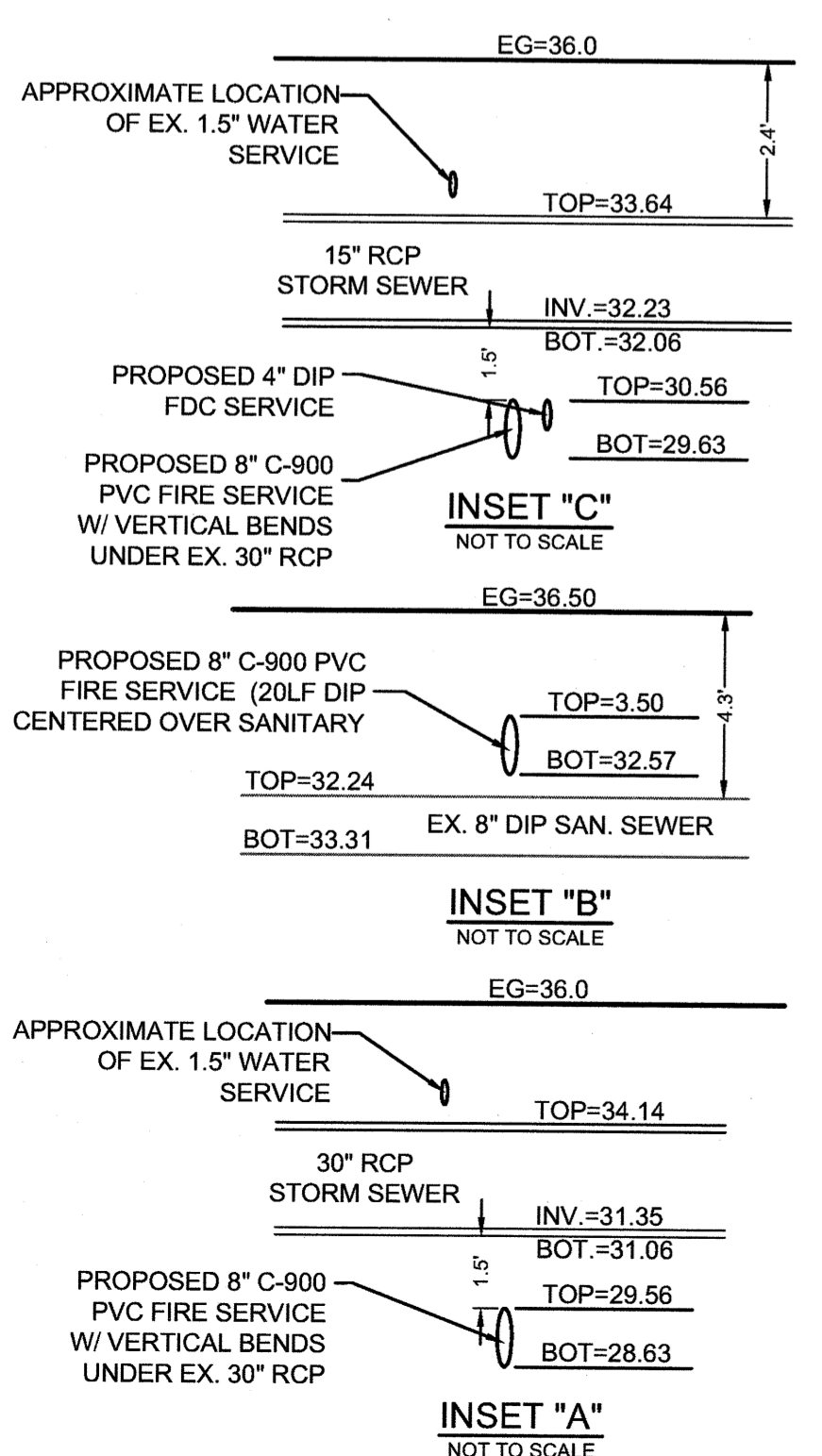
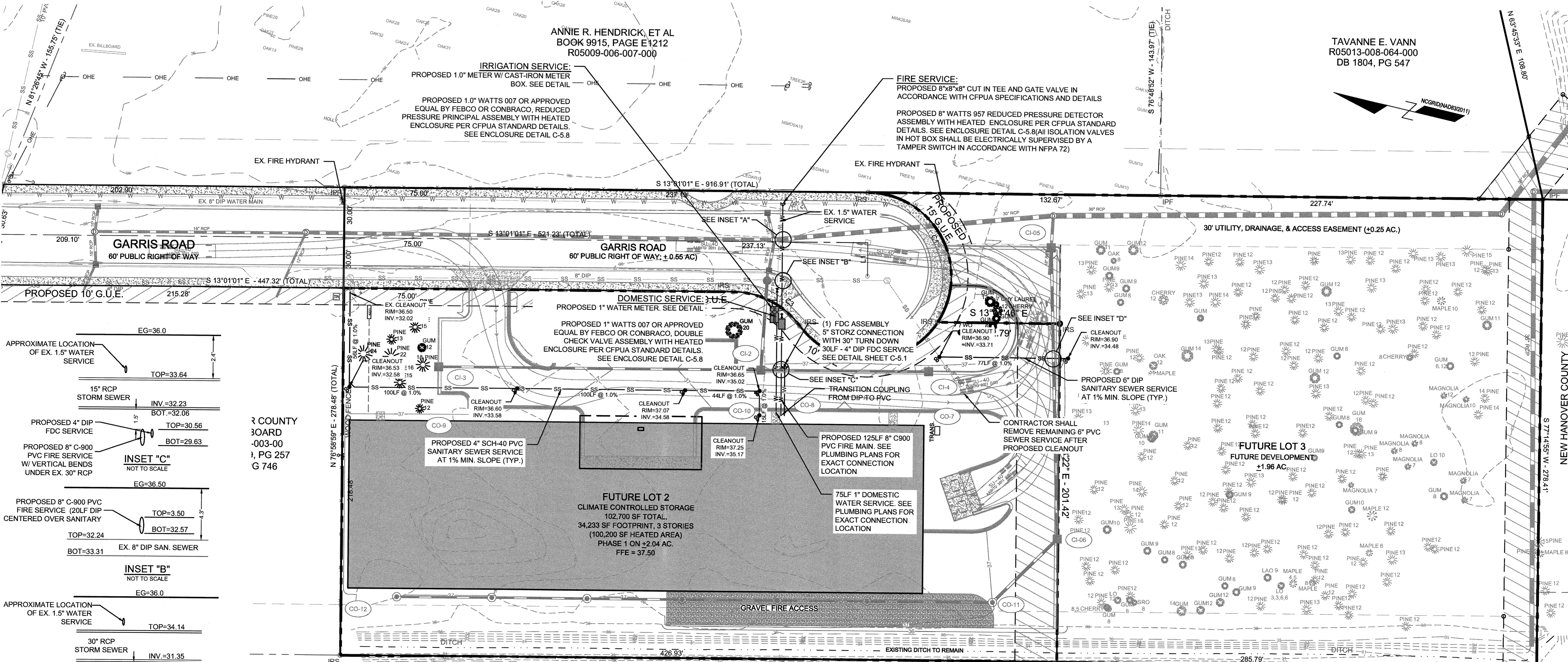
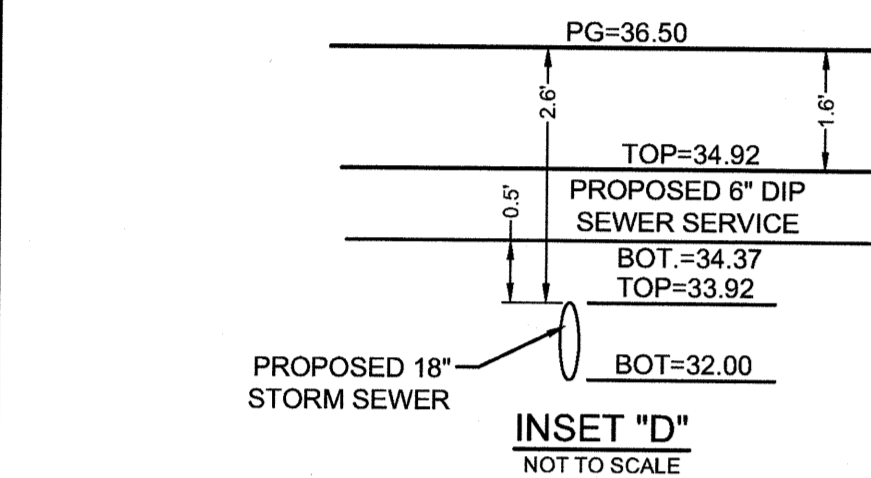
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NC DENR PWSS WATER PERMIT #:	_____	GPD
WATER CAPACITY:	_____	GPD
DWQ SEWER PERMIT #:	_____	GPD
SEWER CAPACITY:	_____	GPD
SEWER SHED # AND PLANT:	_____	_____
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)	_____

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD SEWER NOTES:

- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RW LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 DIP, WITH PROTECTO 401 CERAMIC EPOXY LININGS.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.
- CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.

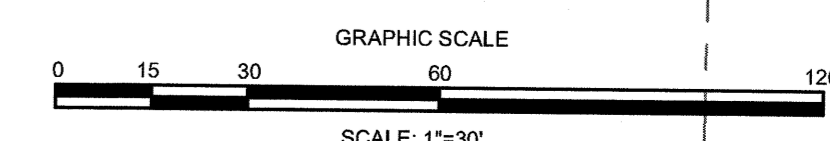


3 COUNTY BOARD 003-00 1, PG 257 G 746

FUTURE LOT 2
CLIMATE CONTROLLED STORAGE
102,700 SF TOTAL,
34,233 SF FOOTPRINT, 3 STORIES
(100,200 SF HEATED AREA)
PHASE 1 ON ±2.04 AC.
FFE = 37.50

FUTURE LOT 3
FUTURE DEVELOPMENT
±1.96 AC

CAPITAL MJ PROPERTIES, LLC
R04912-004-001-000
DB 5571, PG 2885



REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS I, LLC
11111 CARMEL COMMONS BLVD., STE. 207
CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-5707 (O) (910) 791-6700 (F)
NC License #: C-2846

UTILITY PLAN
GARRIS RD. MINI STORAGE
CITY OF WILMINGTON
NORTH CAROLINA

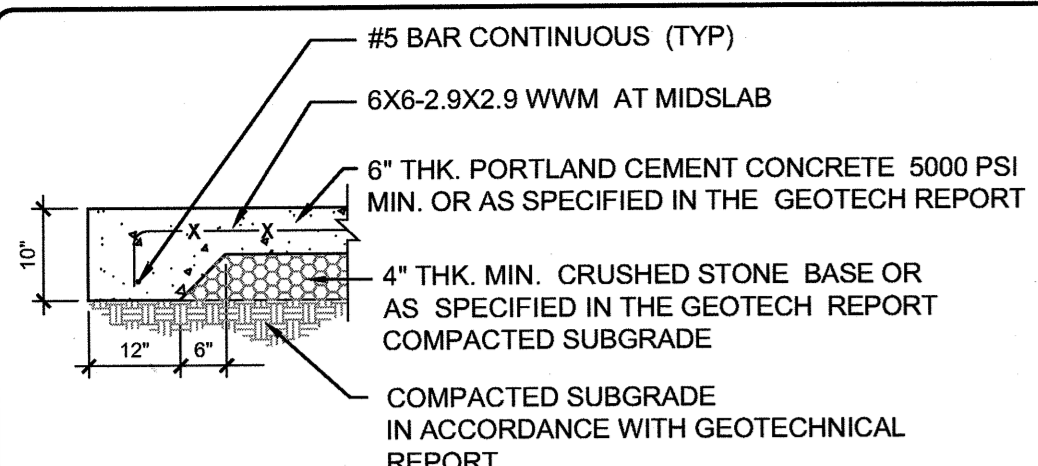
PROJECT STATUS:
CONCEPTUAL LAYOUT: _____
PRELIMINARY LAYOUT: _____
FINAL DESIGN FOR CONST. RELEASED FOR CONST. _____

DRAWING INFORMATION:
DATE: 01/23/18
DRAWN: RPB
CHECKED: RPB
SCALE: 1"=30'

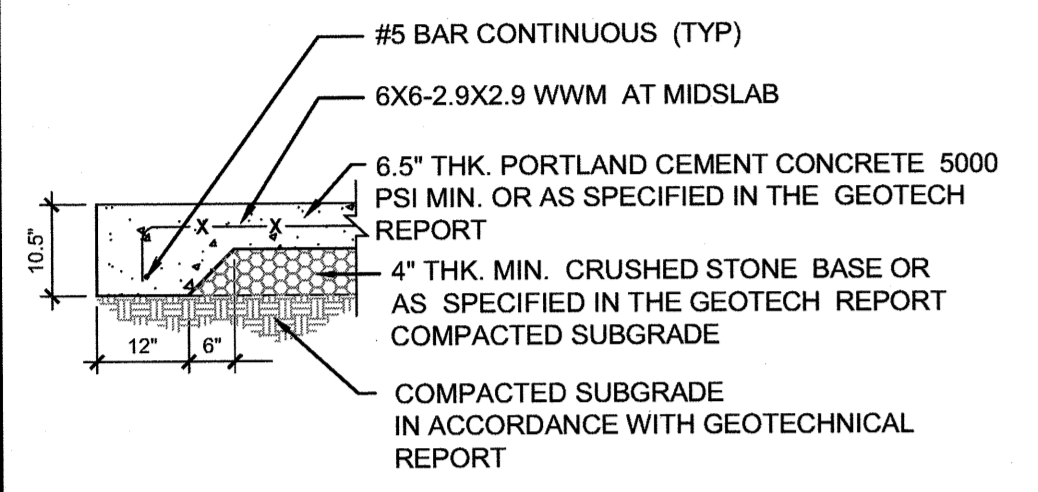
SEAL:
NORTH CAROLINA PROFESSIONAL ENGINEER
ROBERT P. BALLA III
031591
01/23/18

C-4.0
PEI JOB#: 17148.PE

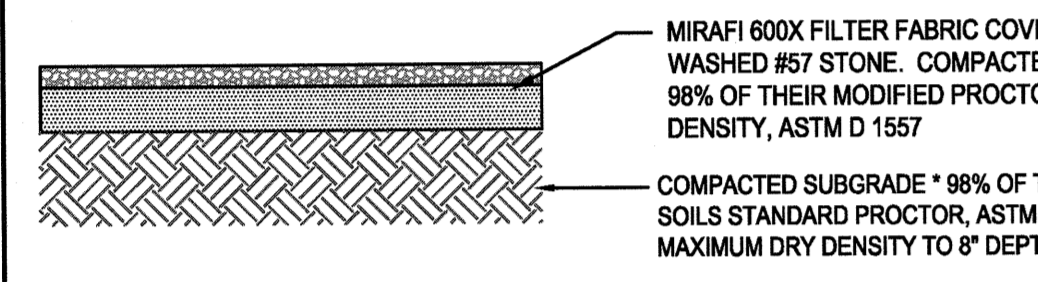
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



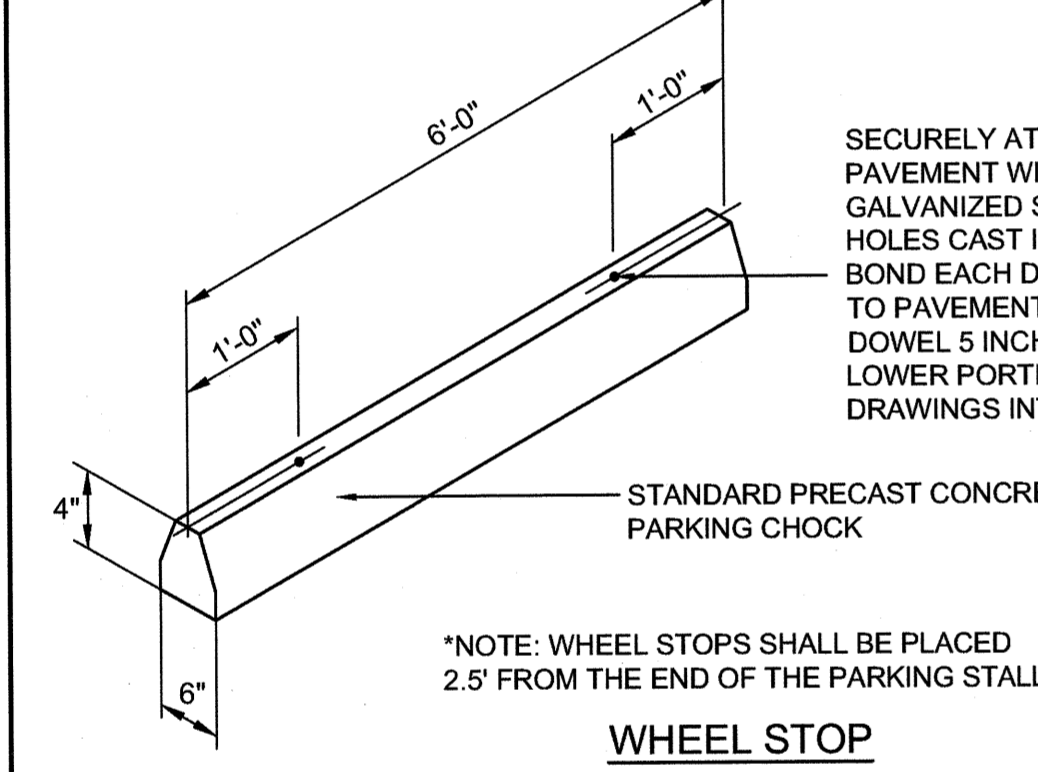
LIGHT-DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE



HEAVY-DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE

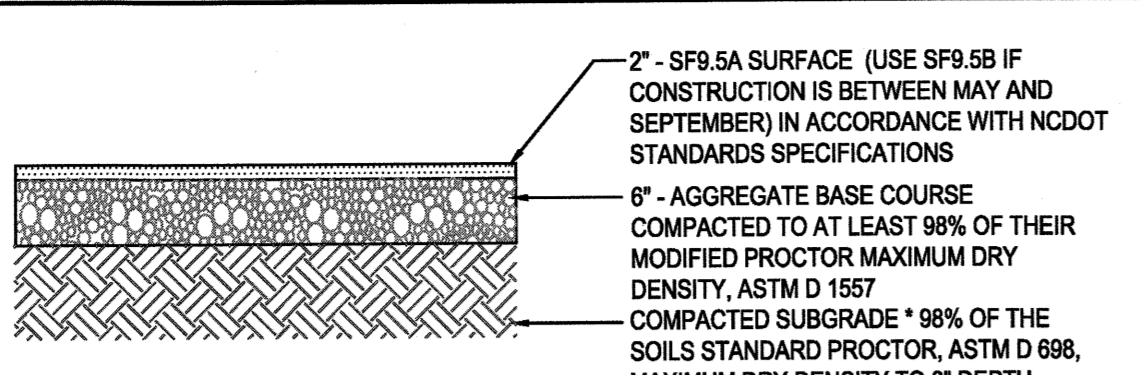


20" GRAVEL FIRE ACCESS DRIVE SECTION
N.T.S.

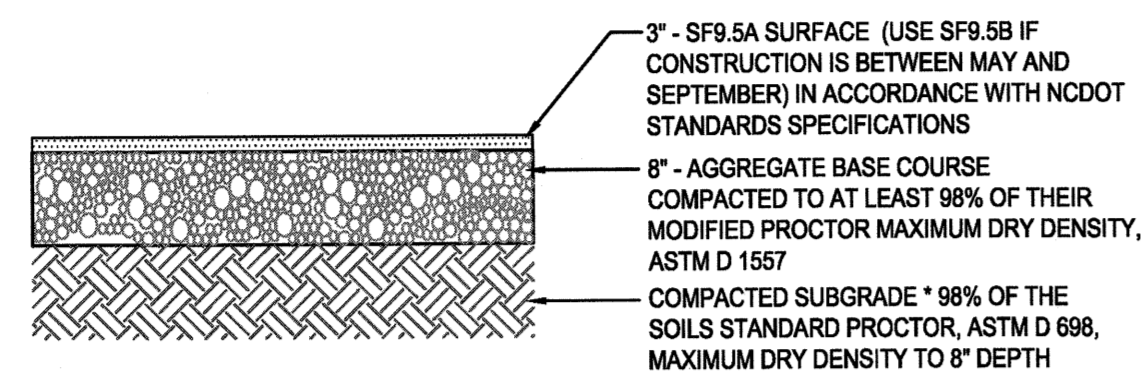


WHEEL STOP
NOT TO SCALE

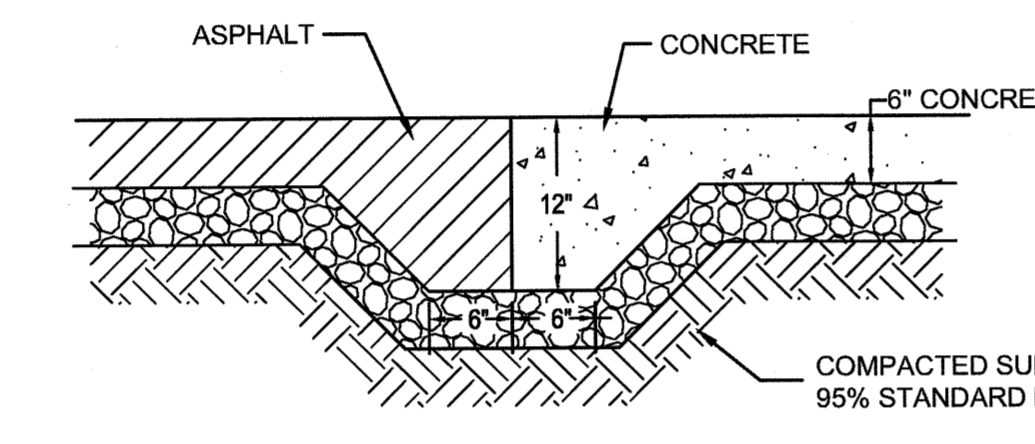
SECURELY ATTACH WHEEL STOPS INTO PAVEMENT WITH NOT LESS THAN TWO GALVANIZED STEEL DOWELS EMBEDDED IN HOLES CAST INTO WHEEL STOPS. FIRMLY BOND EACH DOWEL TO WHEEL STOP AND TO PAVEMENT. EXTEND UPPER PORTION OF DOWEL 5 INCHES INTO WHEEL STOP AND LOWER PORTION AS NOTED ON THE DRAWINGS INTO PAVEMENT.



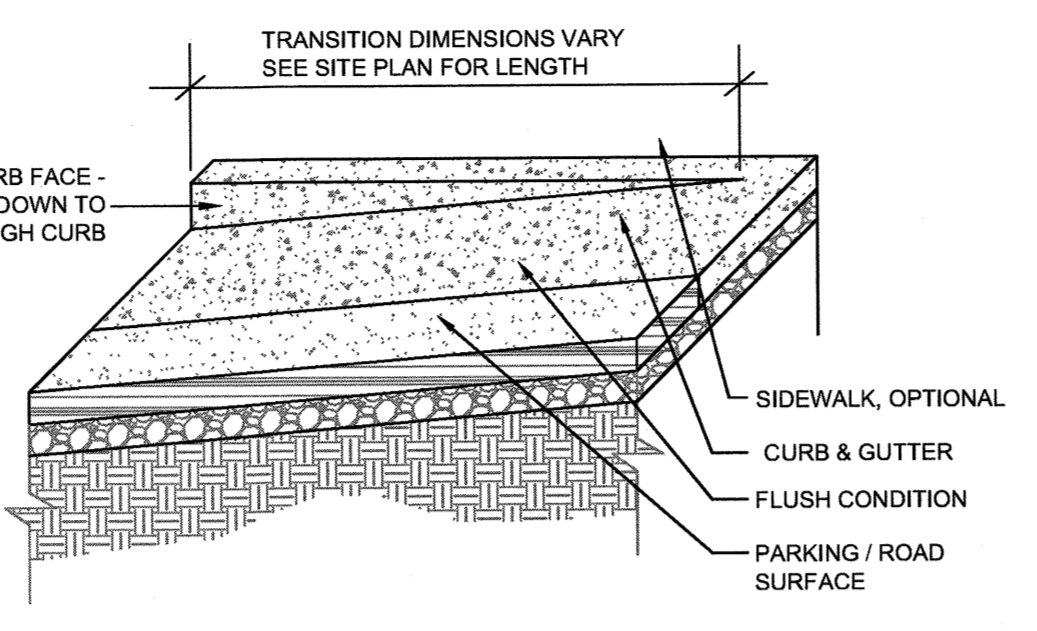
LIGHT DUTY ASPHALT PAVEMENT SECTION
N.T.S.



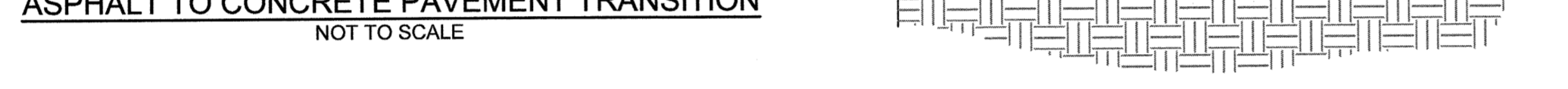
HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.



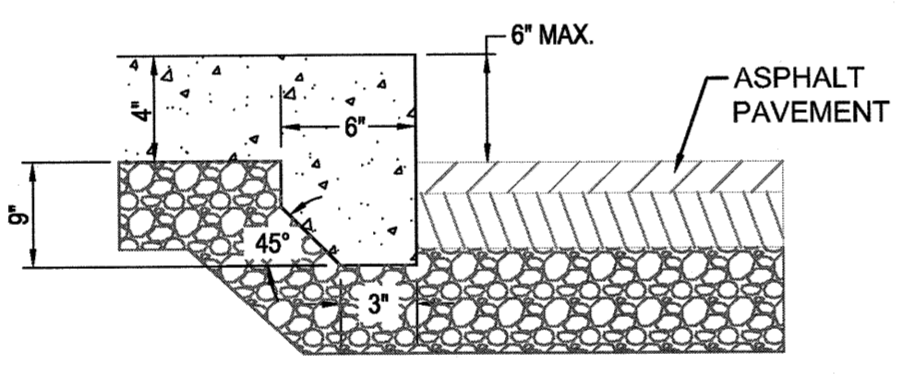
ASPHALT TO CONCRETE PAVEMENT TRANSITION
NOT TO SCALE



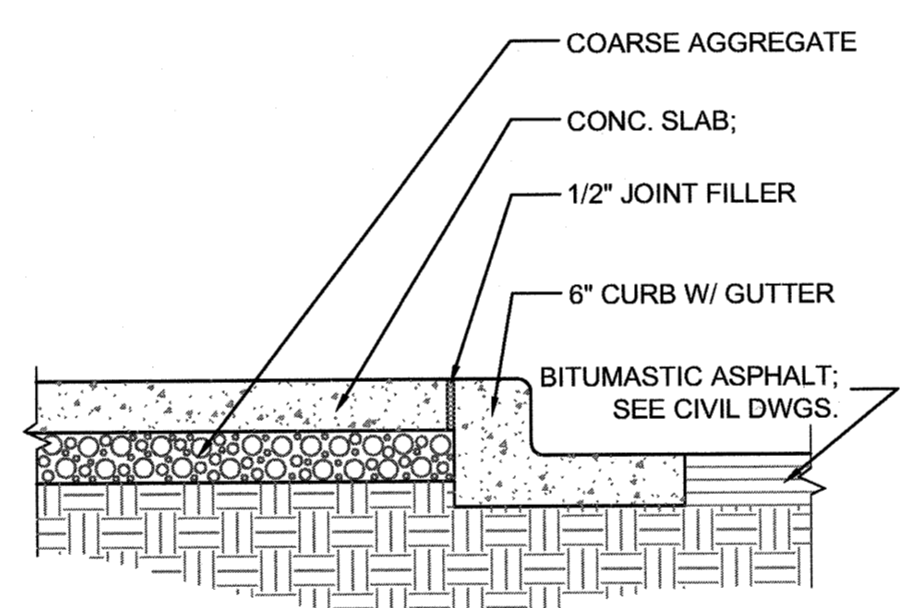
TRANSITION CURB DETAIL
N.T.S.



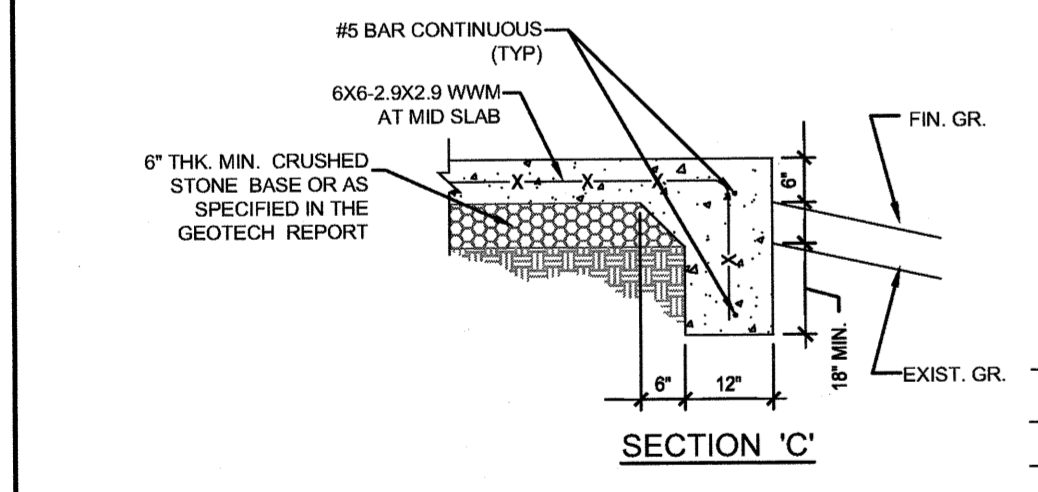
TYPICAL SIDEWALK DETAIL
N.T.S.



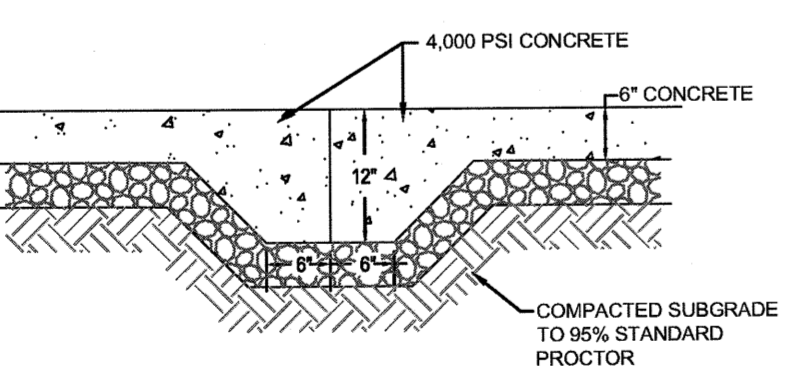
EXPOSED FACE CONCRETE WALK TO ASPHALT DETAIL
NOT TO SCALE



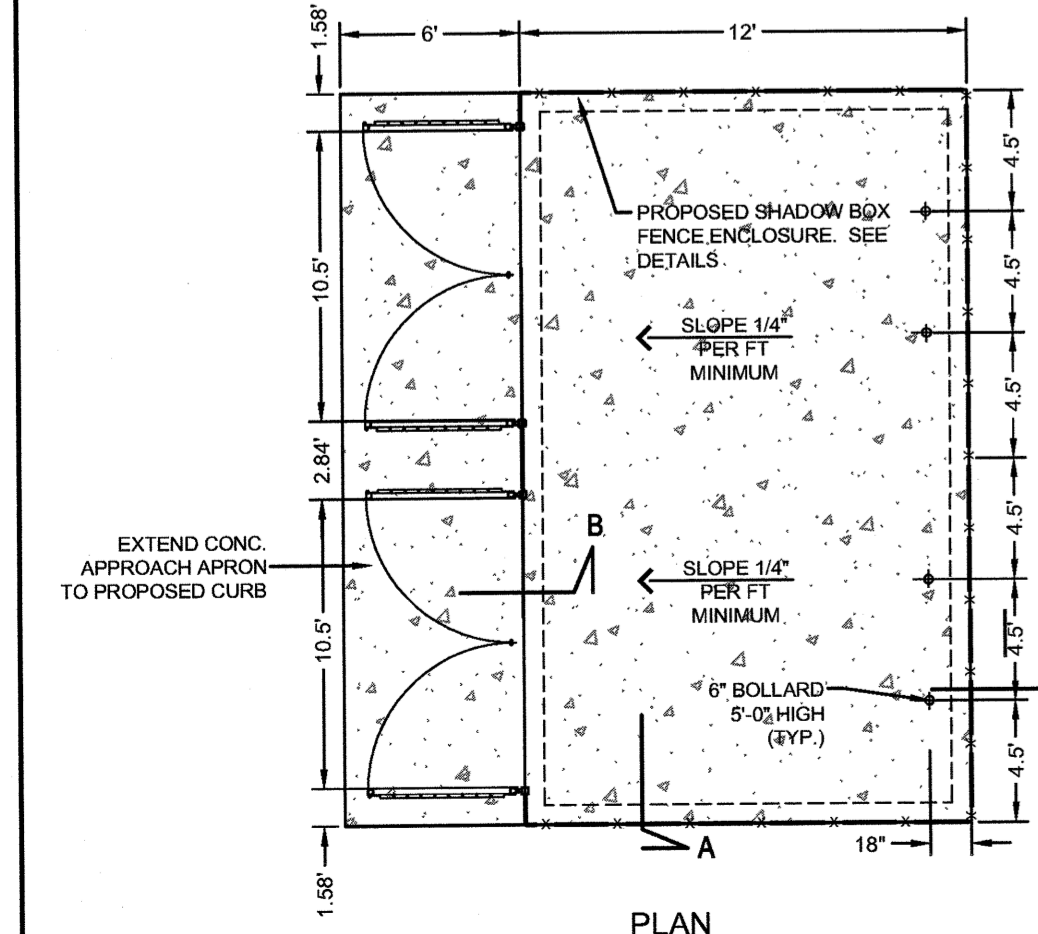
TYPICAL SIDEWALK @ CURB
N.T.S.



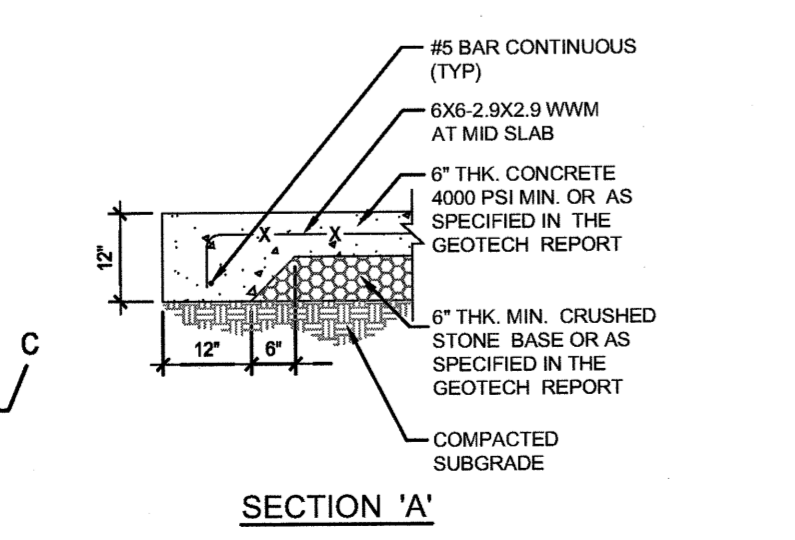
SECTION 'C'



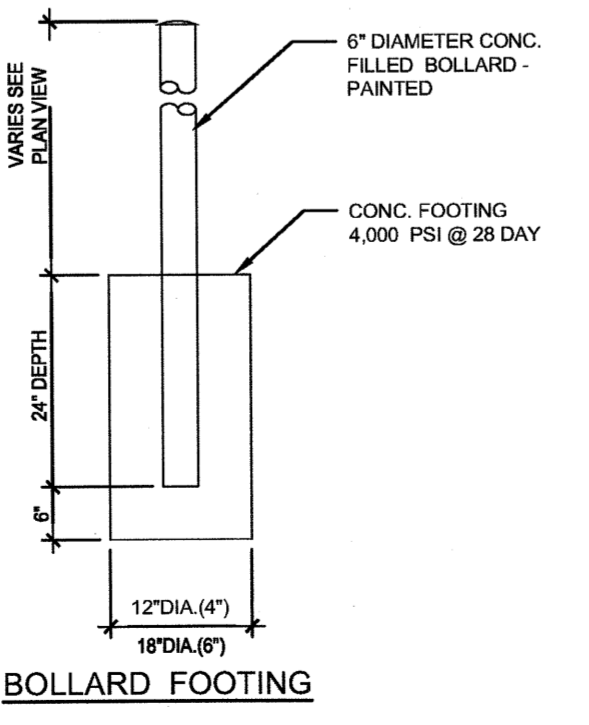
SECTION 'B'
(SEE SECTION 'A' FOR SIMILAR NOTES)



PLAN



SECTION 'A'

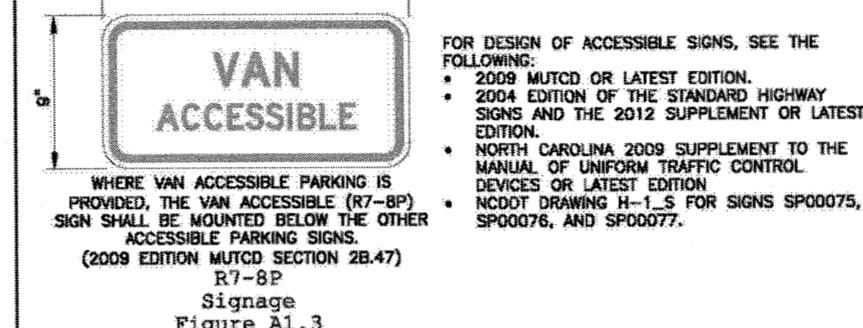


BOLLARD FOOTING

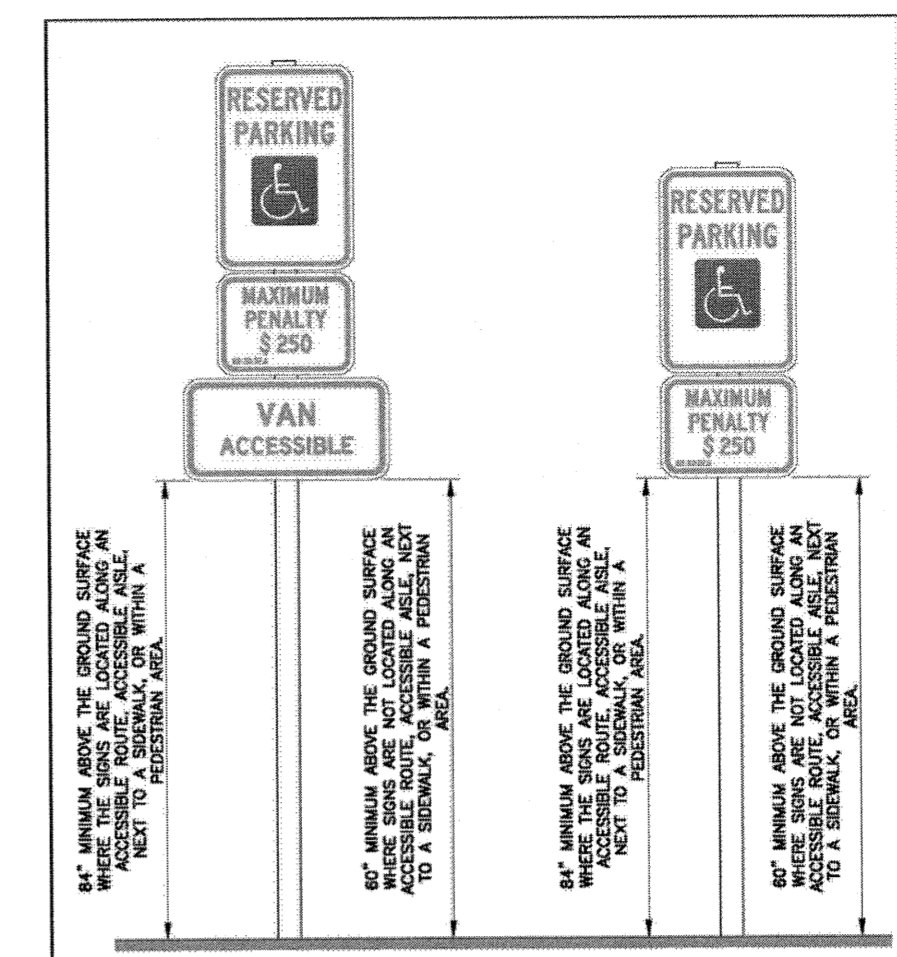
NOTES:
1. FOOTINGS SHALL EXTEND 18" MINIMUM BELOW ADJACENT EXISTING GRADE BELOW FROST DEPTHS PER LOCAL CODES. SEE SOILS REPORT FOR ANY ADDITIONAL DESIGN CRITERIA.
2. ENCLOSURE SHALL BE MASONRY WALL. SEE ARCHITECTURAL FOR DETAILS.

DUMPSTER PAD DETAILS
NOT TO SCALE

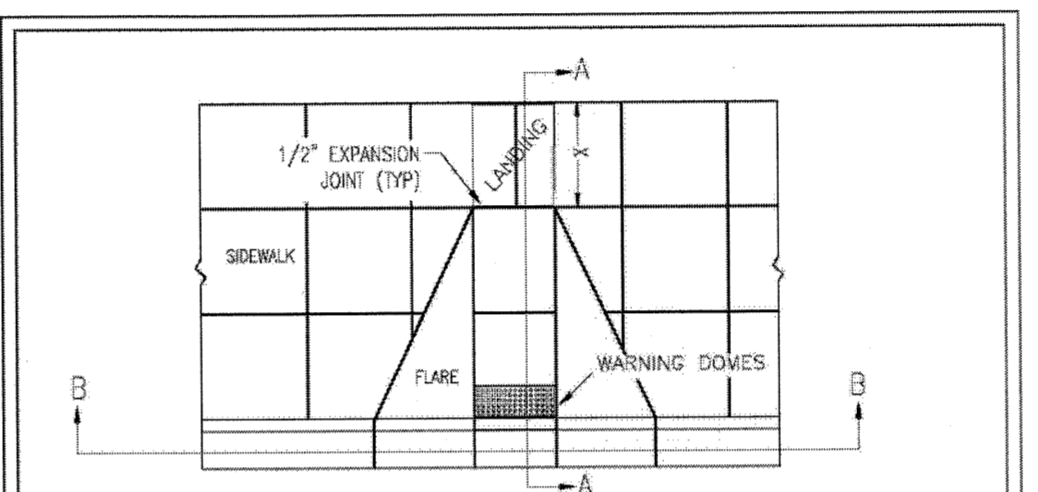
NOTE !! - CONTRACTOR SHALL PROVIDE PHOTOGRAPHIC OR SIMILAR ACCEPTABLE EVIDENCE TO THE OWNER'S CONSTRUCTION MANAGER UPON COMPLETION OF STEEL PLACEMENT.



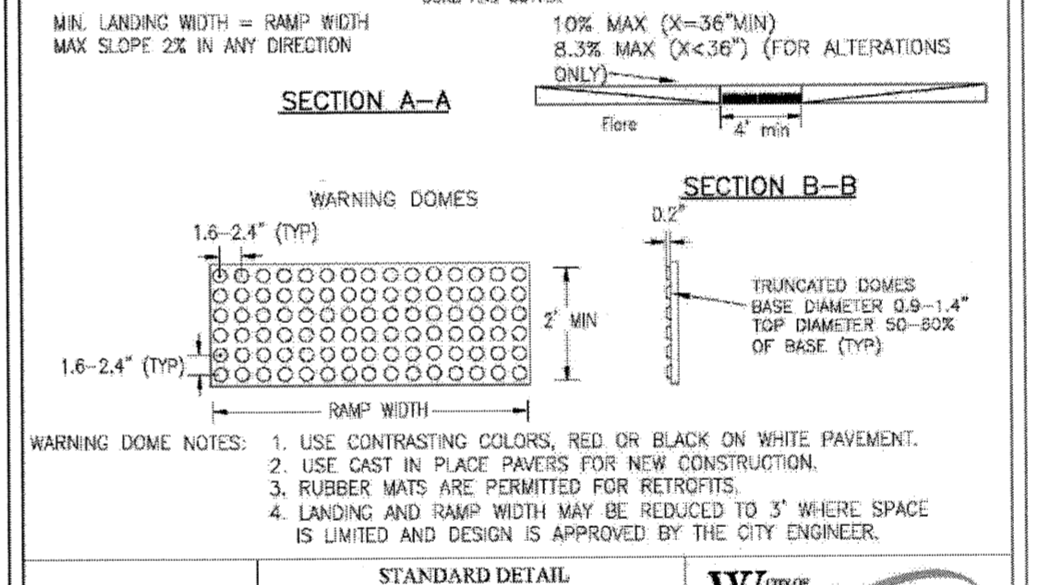
ACCESSIBLE PARKING SIGNS
INSTALLATION DETAILS SHEET A1 OF 5



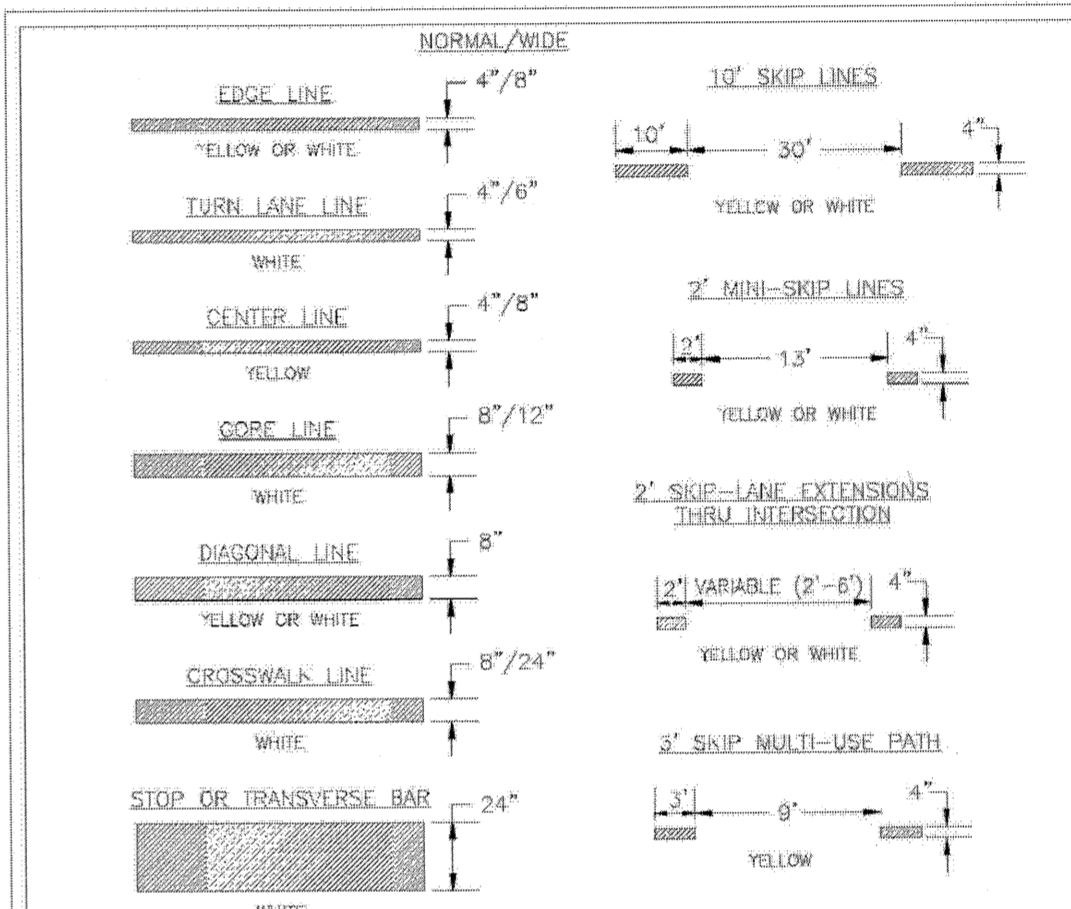
ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A2 OF 5



PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE

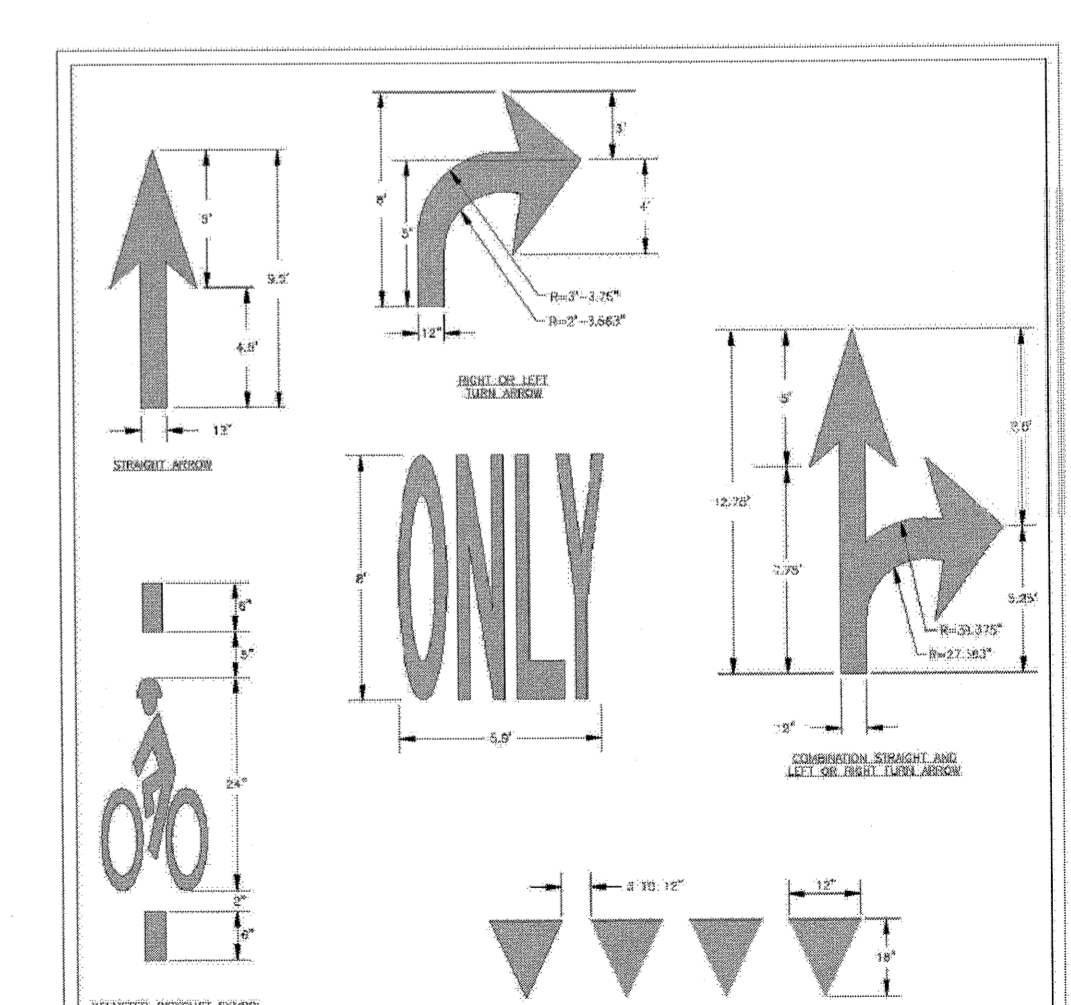


STANDARD DETAIL PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE



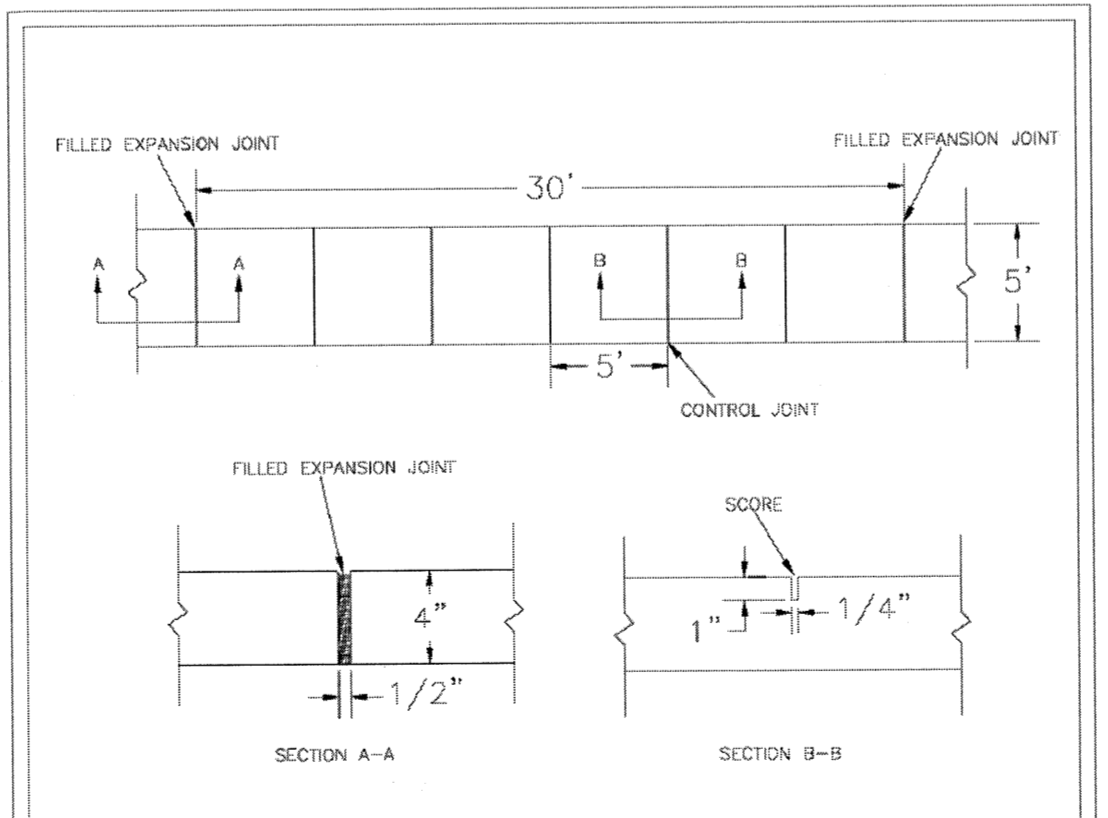
STANDARD DETAIL PAVEMENT MARKINGS LINE TYPES

1-PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NC DOT DIVISION 12 SPECIFICATIONS.
2-GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
3-DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50° F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40° F AND RISING.



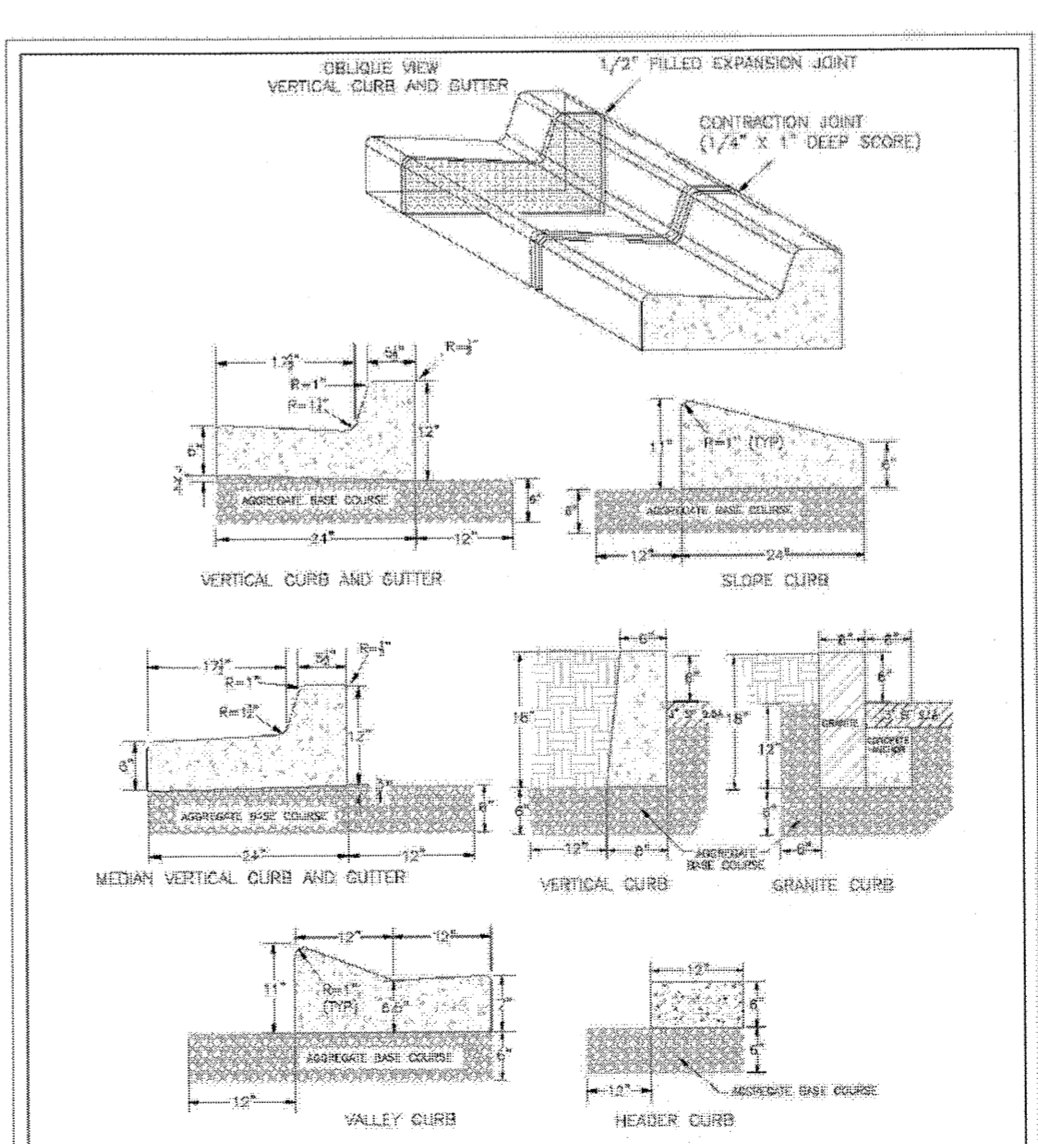
STANDARD DETAIL GUIDELINES FOR PAVEMENT MARKINGS AND SYMBOLS

1-PAVEMENT MARKINGS, SYMBOLS AND DIMENSIONS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NC DOT DIVISION 12 SPECIFICATIONS. SEE SD 11-01.



STANDARD DETAIL SIDEWALK

NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NC DOT STANDARDS.
2. SANITARY SOWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAINING A DRIVEWAY APRON) SHALL BE CLASS 'A' - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.



STANDARD DETAIL CURBING

1-EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NC DOT STANDARDS
2-IF W/ EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
3- MINIMUM REPLACEMENT LENGTH IS 3' FT.
4- CONCRETE TO BE 3,000 PSI MIN.
5- TOP SURFACE SHALL BE FINISHED TO 1/4" OR LESS TYP.

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

Approved Construction Plan
Name: E.K. Fitch
Date: 5-2-18
Traffic: 5-1-18
Fire: 5/2/17

CITY OF WILMINGTON
Public Services • Engineering Division
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NC License #: C-2846

DETAILS
GARRIS ROAD STORAGE
CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS:
FINAL DESIGN: []
PRELIMINARY LAYOUT: []
RELEASED FOR CONSTRUCTION: []

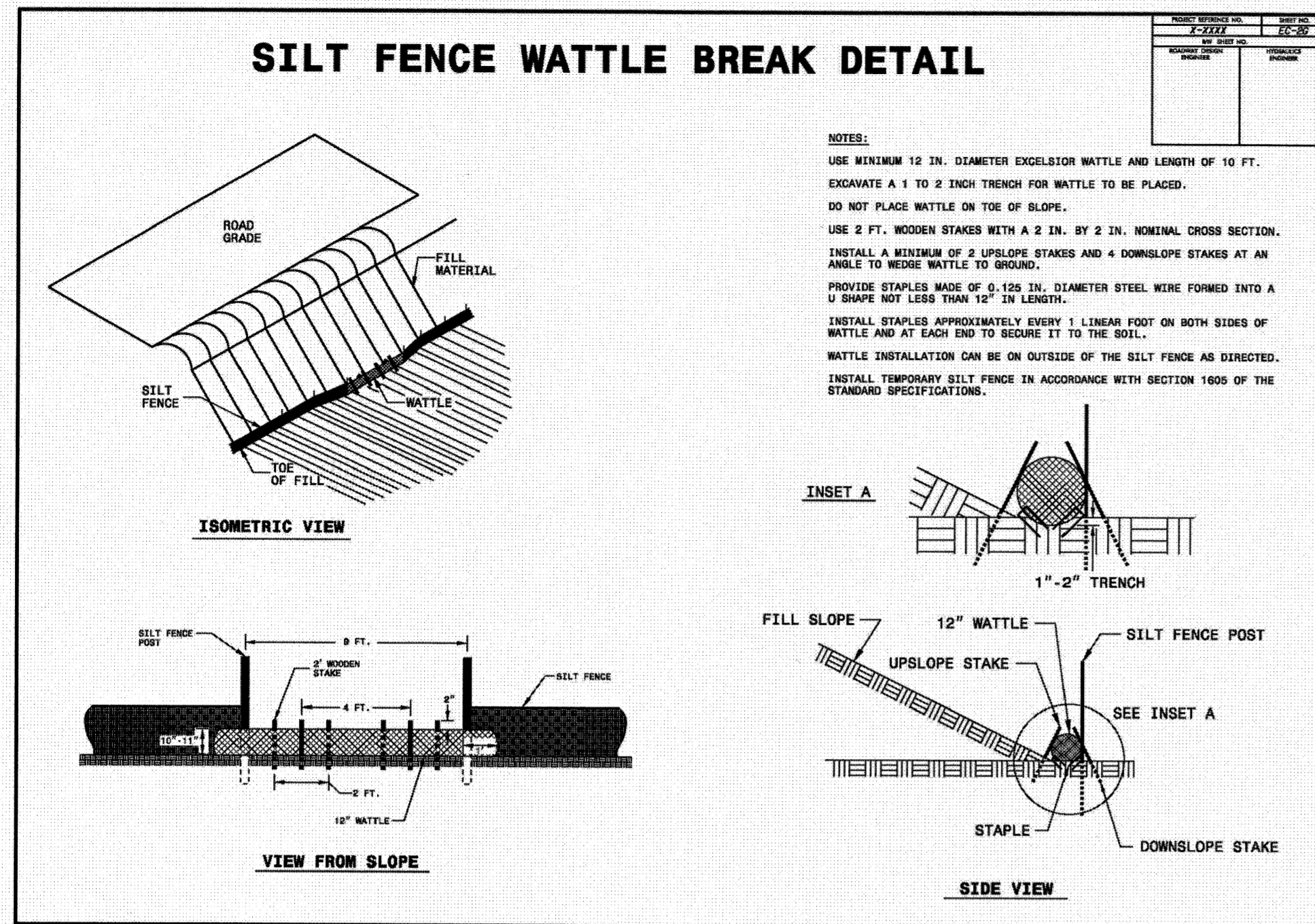
DRAWING INFORMATION:
DATE: 05/24/18
AS SHOWN: []
RFB: []
RFB: []
CHECKED: []

SEAL:
CITY OF WILMINGTON
ENGINEER
ROBERT P. BALL
031591
04/11/18

C-5.0

PEI JOB#: 17148.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

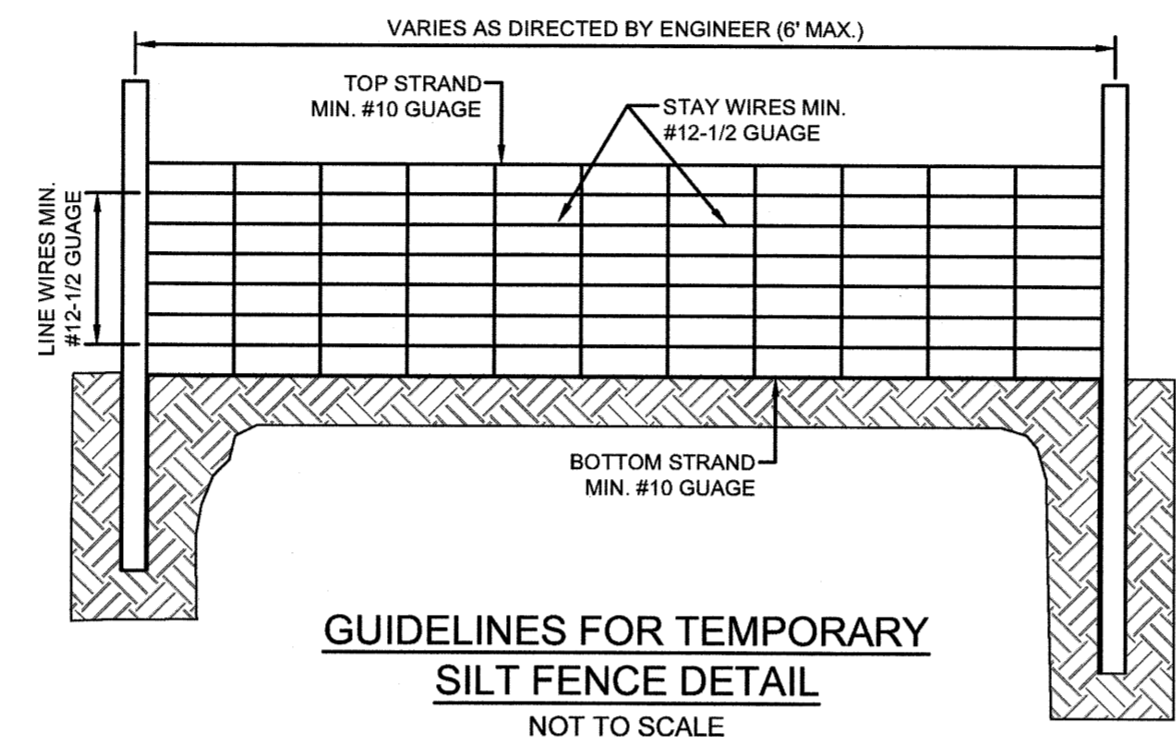
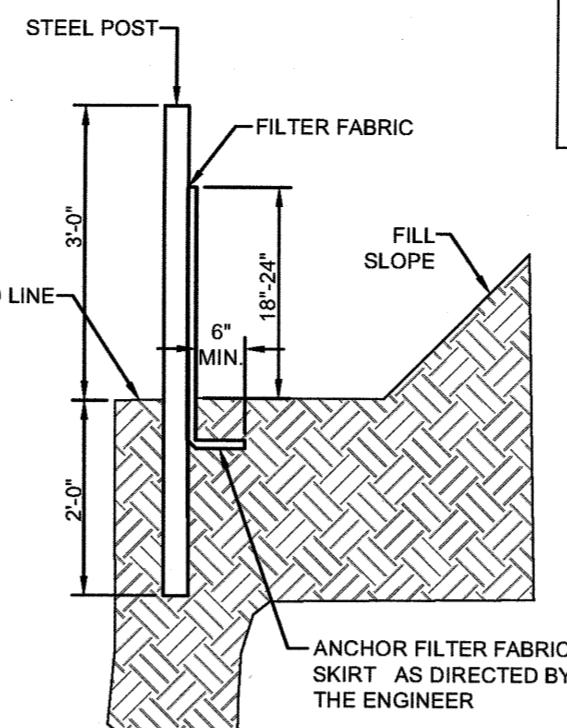


- NOTES:**
- WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES W/1/2" STAY SPACING.
 - FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.
 - STEEL POST SHALL BE 5' 0" IN HEIGHT AND BE OF SELF FASTENER ANGLE STEEL TYPE

Temporary Sediment Fence - Ph1 EC

Requirement = 100 lb per 0.25 acres disturbed

SFDA #	Disturbed Area (ac)	Total drainage (ac)	Silt Fence Required (ft)	Silt Fence Provided (ft)
1	0.31 ac	124	325	
2	0.37 ac	148	235	
3	0.47 ac	188	207	
4	0.56 ac	380	1025	
5	0.17 ac	68	185	
6	1.00 ac	400	475	



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

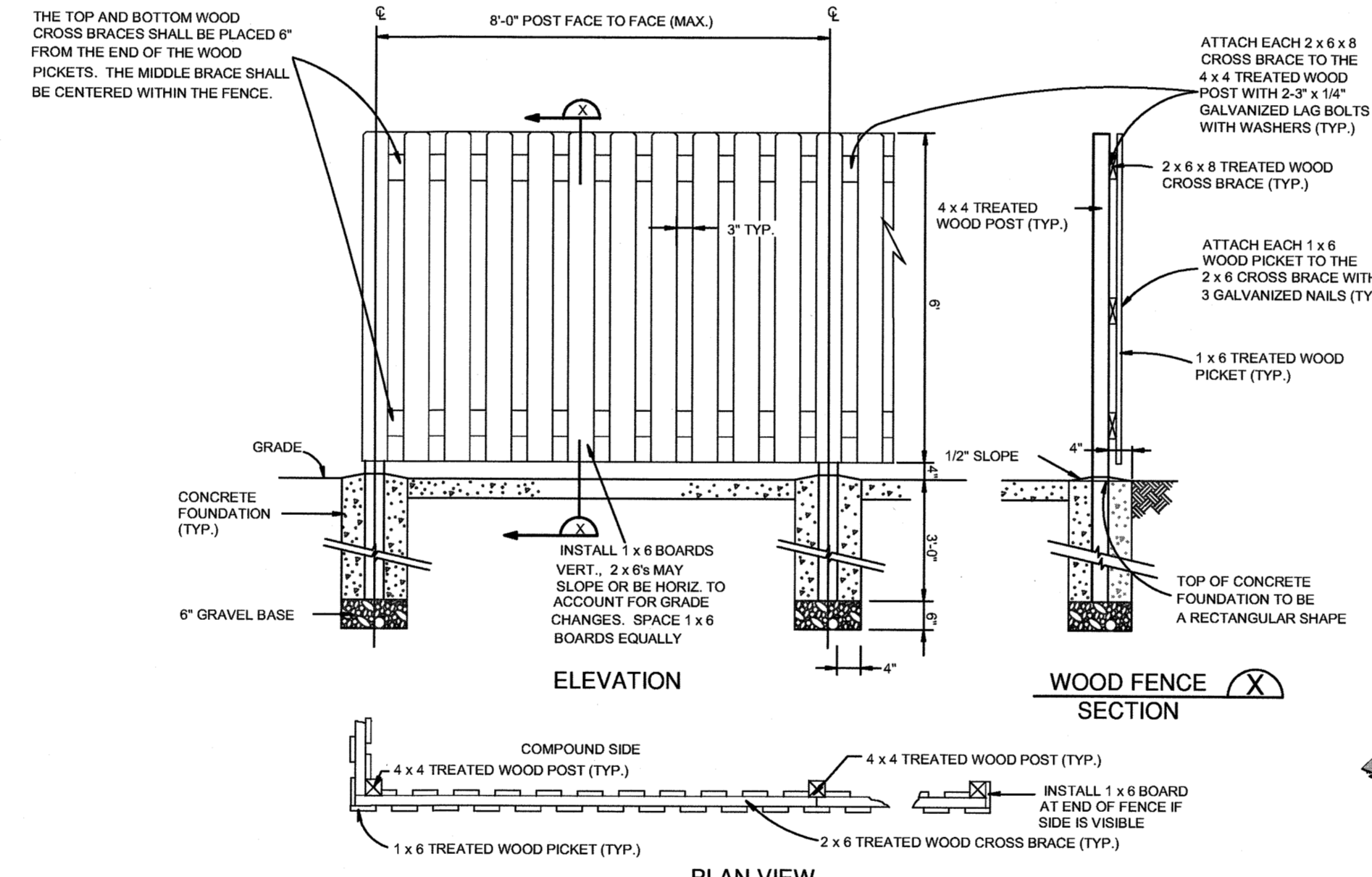
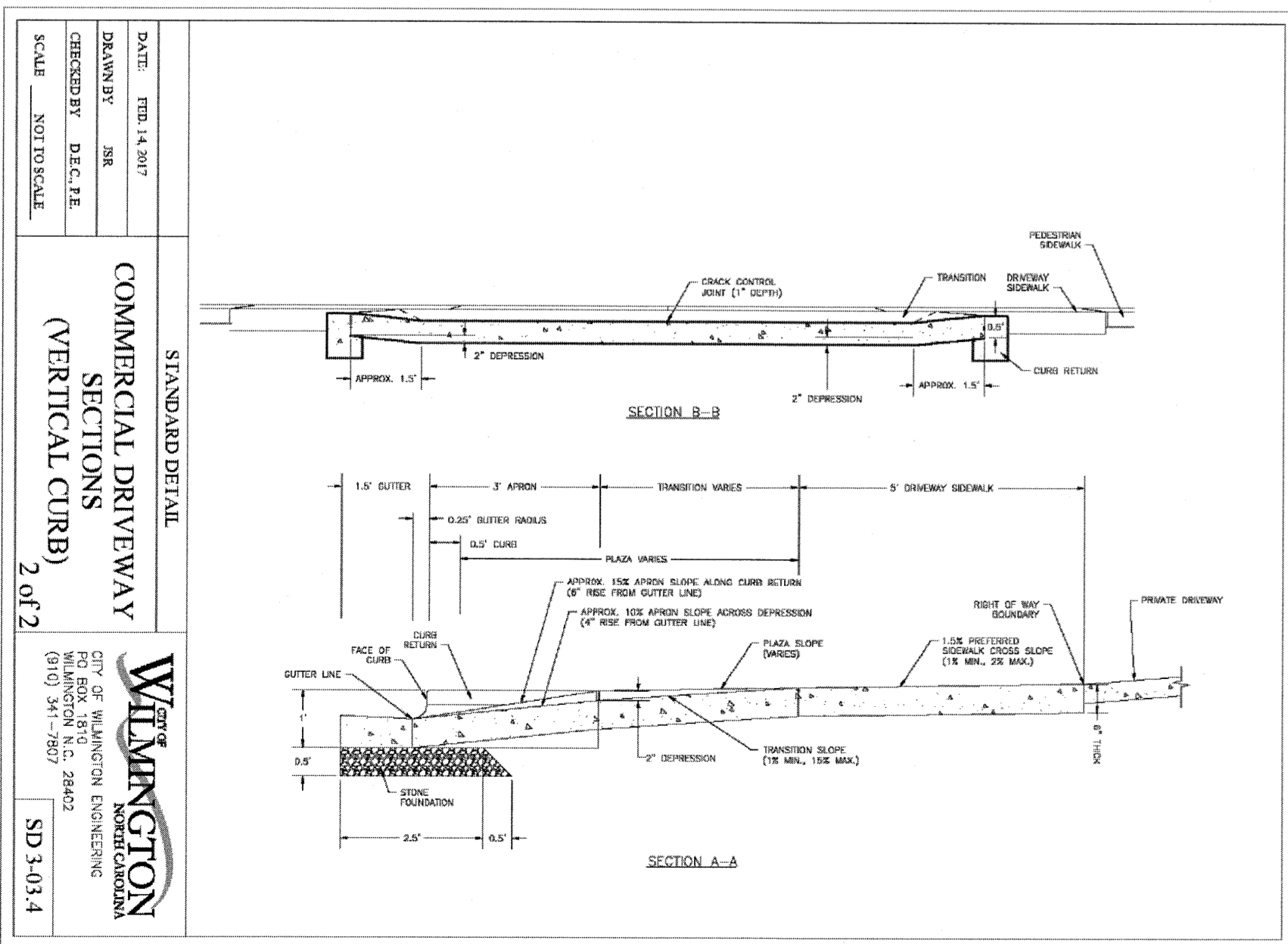
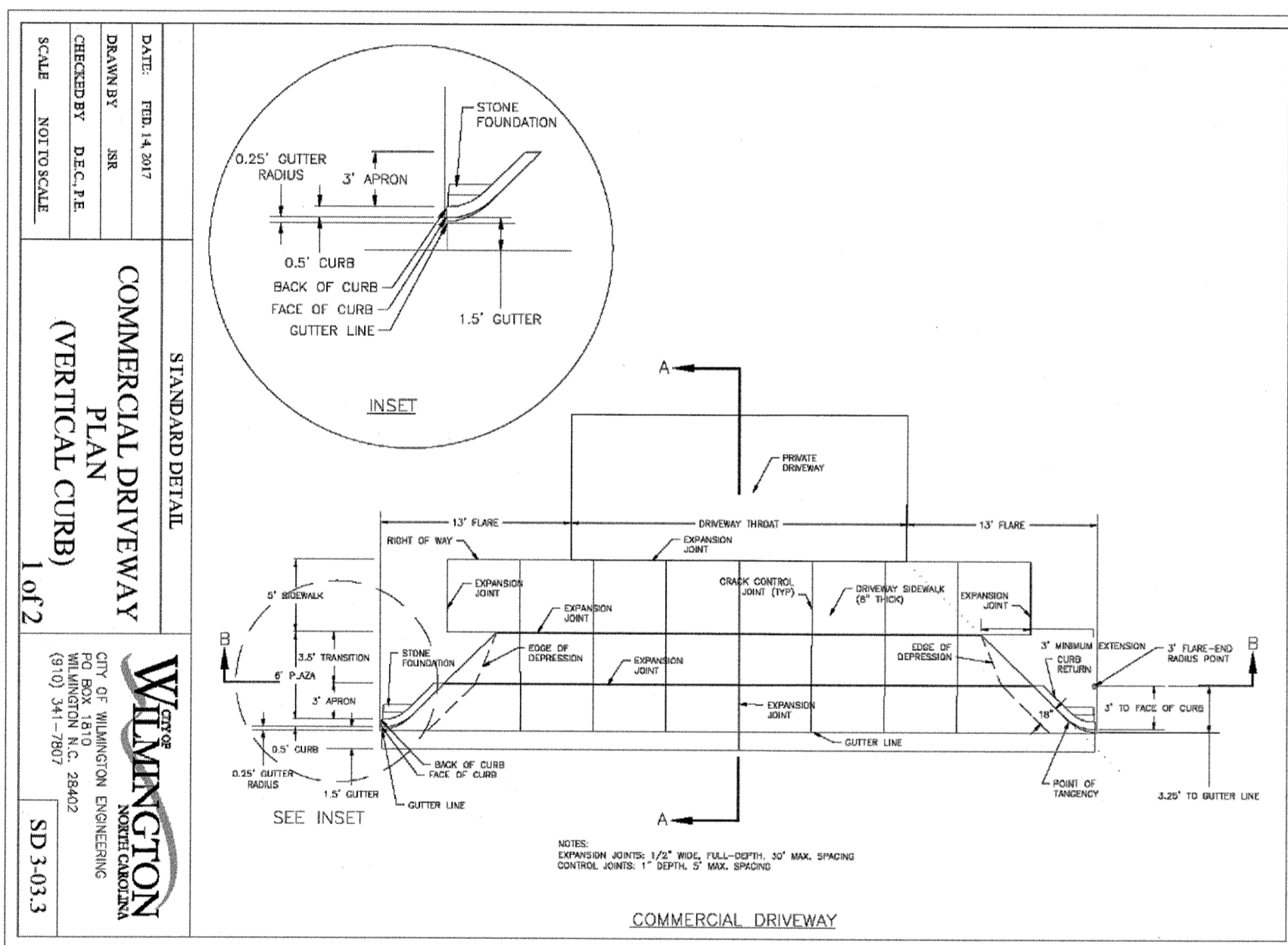
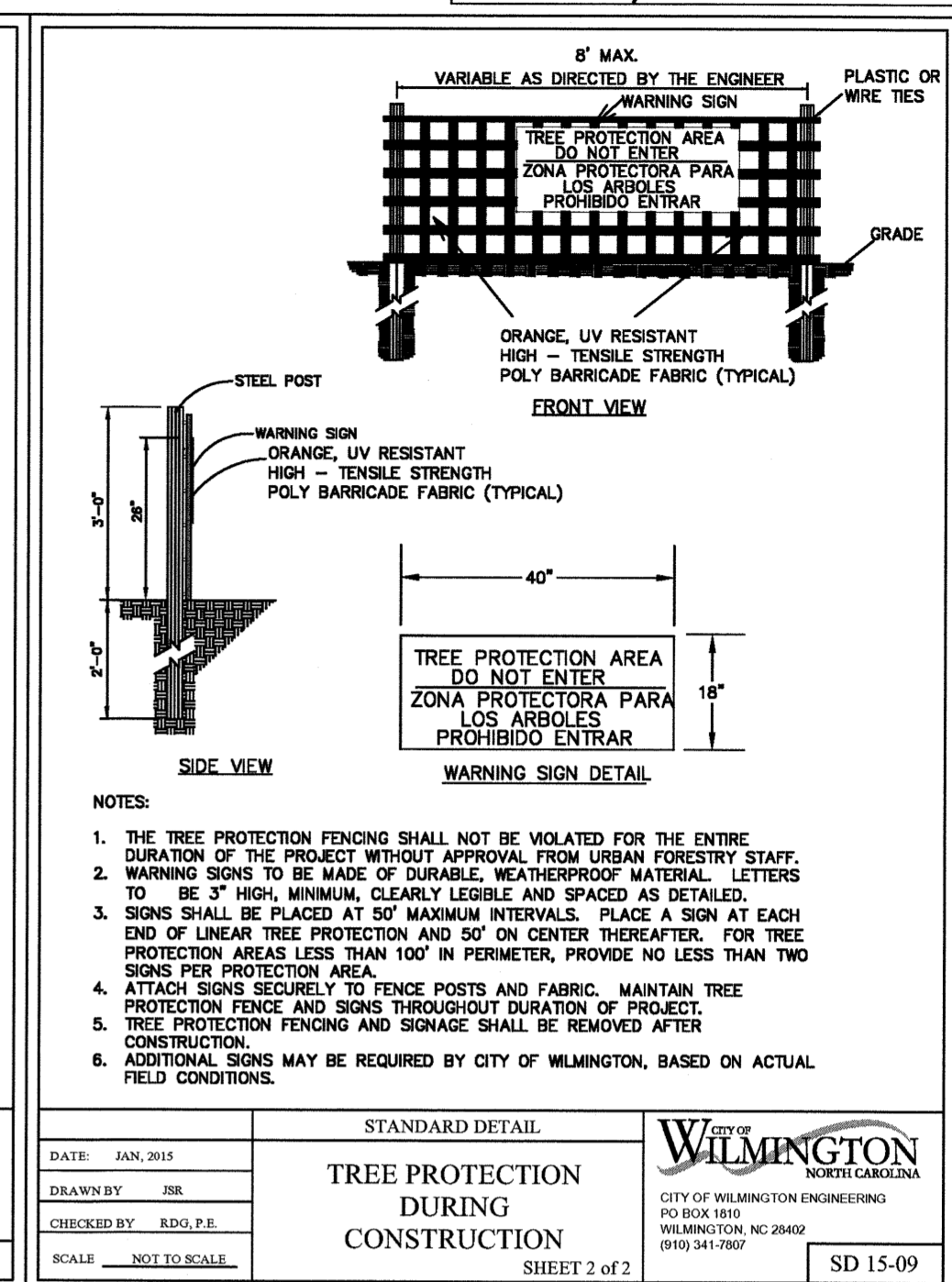
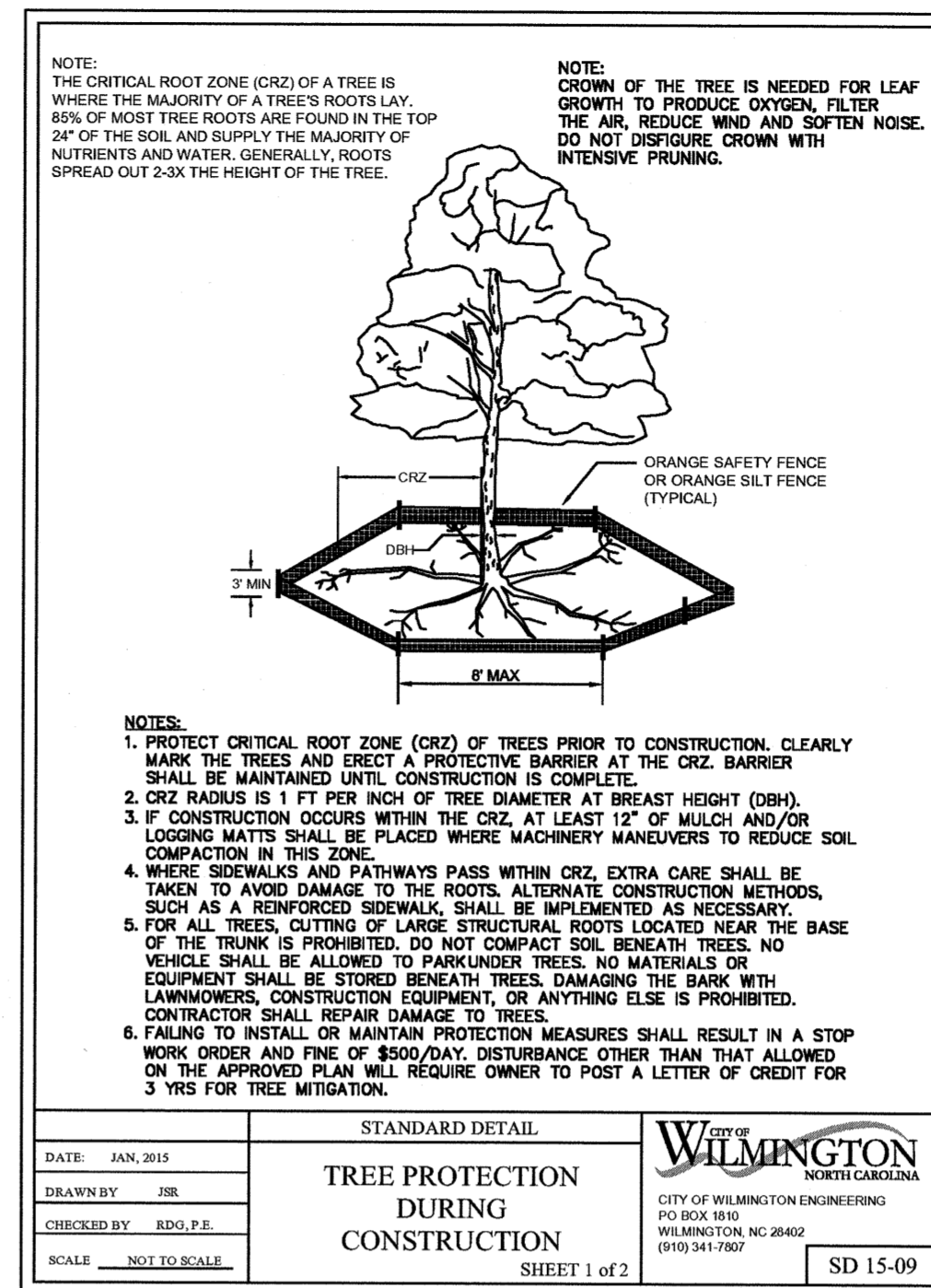
NCDNR PWSS WATER PERMIT #:
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #:
 SEWER CAPACITY: _____ GPD
 SEWER FLOW # AND PLANT:
 SEWER TO SHED THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan

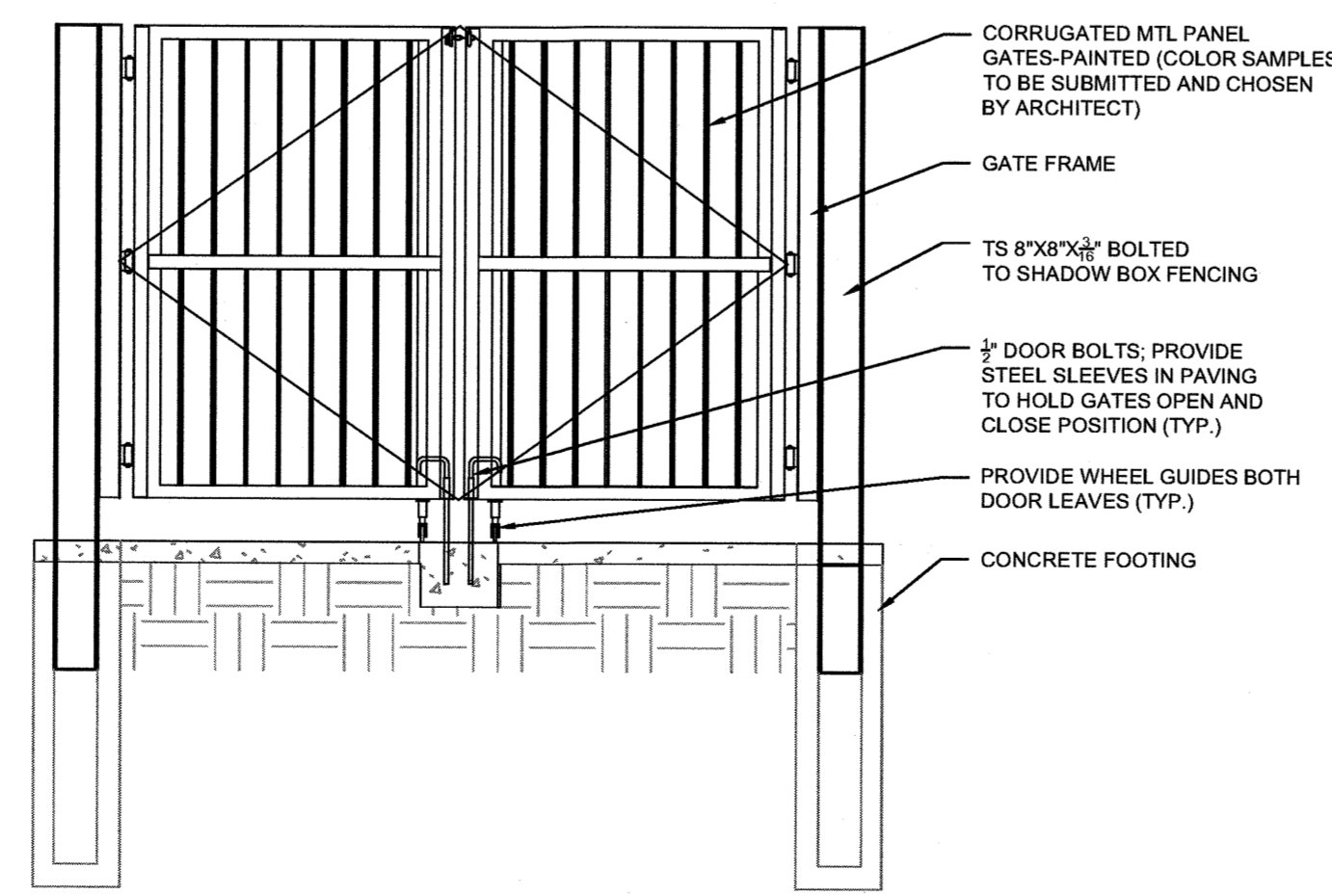
Name: *E. V. J. J. J.* Date: *5/3/18*

Planning: *W. J. J. J.* Traffic: *W. J. J. J.* Fire: *W. J. J. J.*

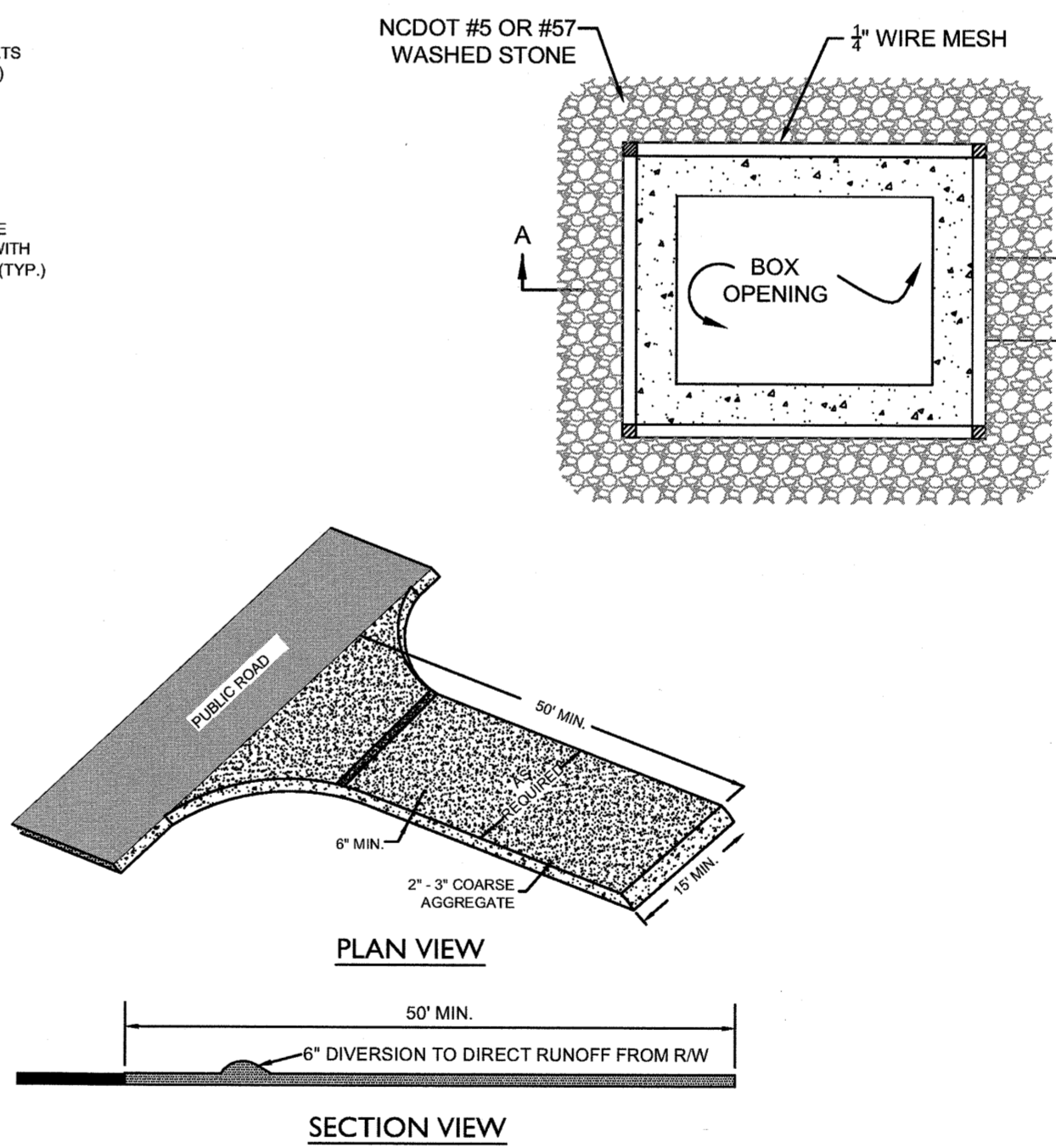
City of Wilmington, North Carolina
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *5/3/18* Signed: *[Signature]*



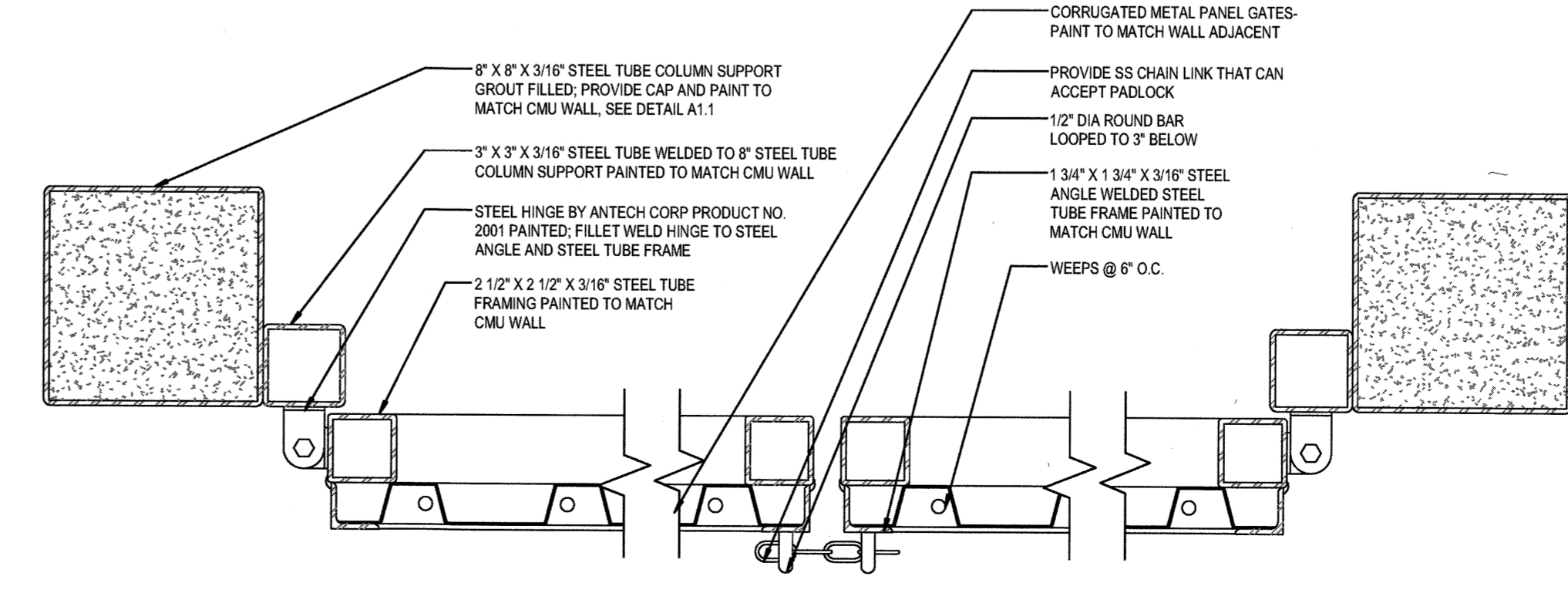
PLAN VIEW
SHADOW BOX FENCE DETAIL
 NOT TO SCALE



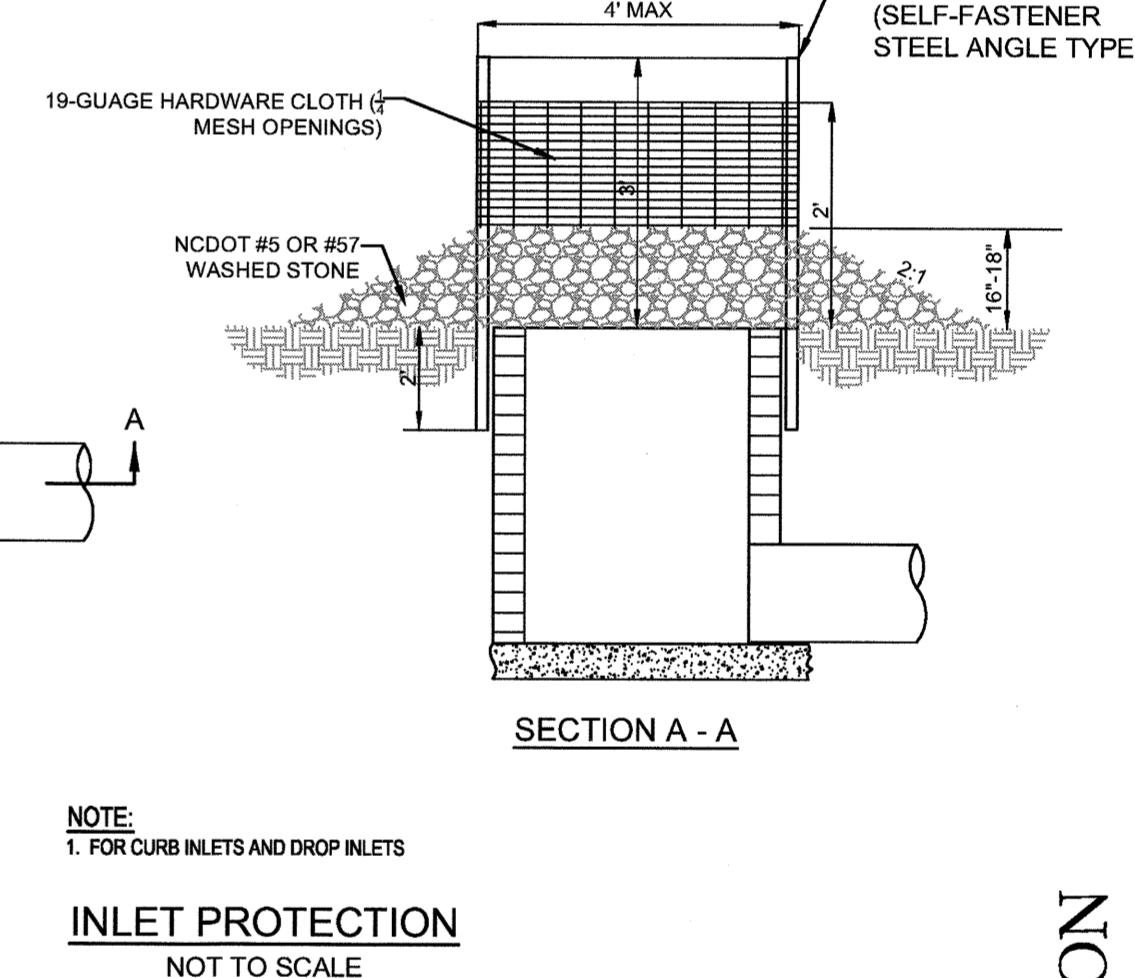
DUMPSTER GATE - ELEVATION
 NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE
 NOT TO SCALE



DUMPSTER GATE - PLAN VIEW
 NOT TO SCALE



INLET PROTECTION
 NOT TO SCALE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

4/11/18

REVISIONS:
 REV.1 TRC COMMENTS

CLIENT INFORMATION:
 GARRIS ROAD STORAGE HOLDINGS I, LLC
 11111 CAMEL COMMONS BLVD., STE 207
 CHARLOTTE, NC 28226

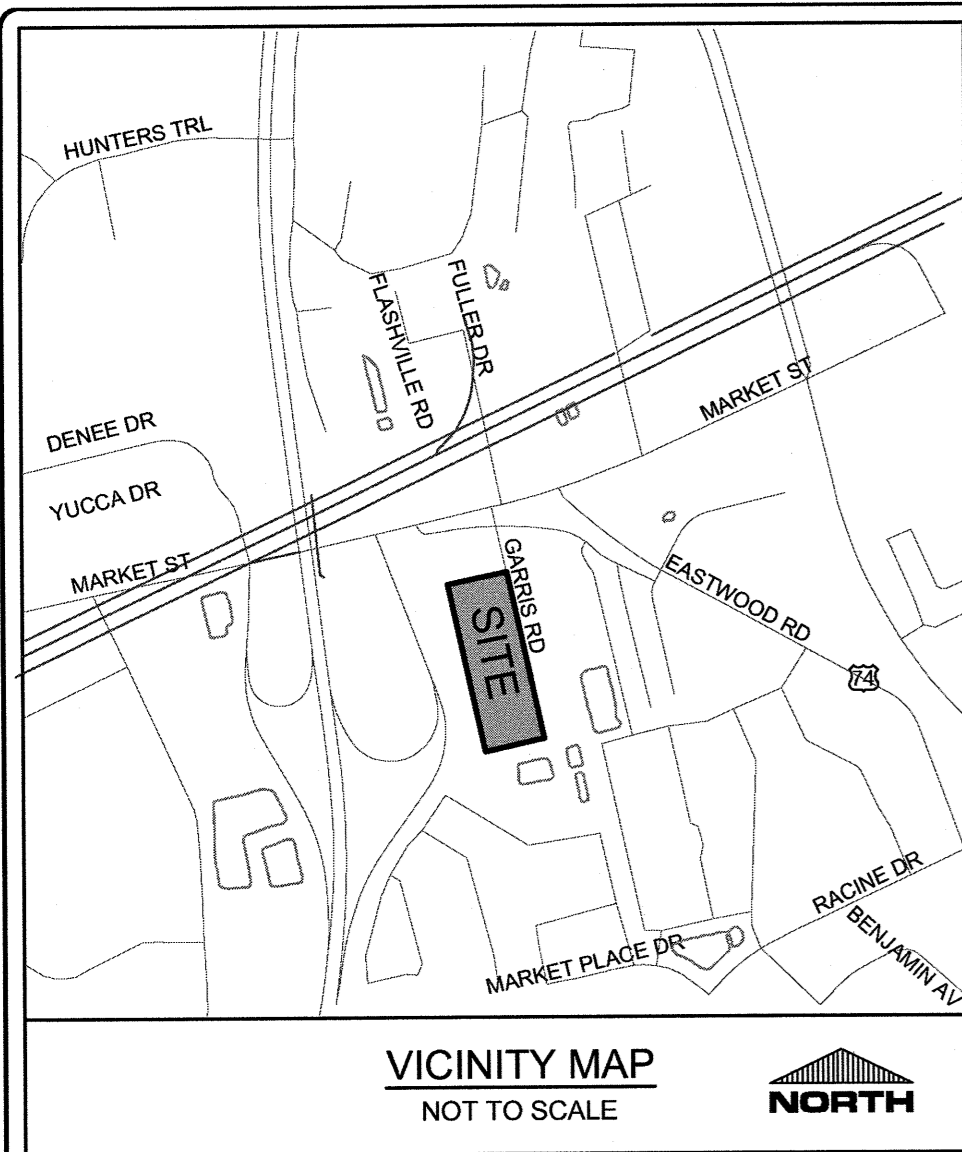
PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

DETAILS
 GARRIS ROAD STORAGE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS
 PRELIMINARY LAYOUT:
 DRAWING INFORMATION
 DATE: 01/23/18
 SCALE: AS SHOWN
 DRAWN: RFB
 CHECKED: RFB

SEAL
 NORTH CAROLINA
 PROFESSIONAL ENGINEER
 031591
 ROBERT P. BALLING
 04/11/18

C-5.1
 PEI JOB#: 17148.PE



SITE INFORMATION
OWNER INFORMATION:
 PROJECT ADDRESS: GARRIS ROAD MINI STORAGE
 5414 MARKET STREET
 WILMINGTON, NC 28403
 R04912-004-002-000
 BK 9908 PG 1013
 RB - REGIONAL BUSINESS
 UNDEVELOPED
 PH1: MULTI-STORY STORAGE
 PH2: FUTURE DEVELOPMENT

FLOOD INFORMATION:
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.

CAMA LAND USE CLASSIFICATION: URBAN

DIMENSIONAL REQUIREMENTS

RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 25'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL USE
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL USE
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'
 - PROPOSED BUILDING HEIGHT: 44' MAX.
 - ADDITIONAL BLDG HT. ALLOWED: 4' ADDITIONAL SETBACK FOR FIRST 10' IN HT. ADDED

LANDSCAPE CALCULATIONS:

STREETYARD (factor of 25)
 430 lf @ 25 = 10,750 sf
 10,750 sf / 600 sf = 17.9 or 18
 1 Canopy Tree / 600 SF 18
 6 Shrubs / 600 SF 108

PARKING LOT INTERIOR
 24,823 sf Paving @ 200 = Landscaping sf
 24,823 sf / 600 sf = 41.37 or 41
 1 Canopy Tree / 600 SF 41
 6 Shrubs / 600 SF 246

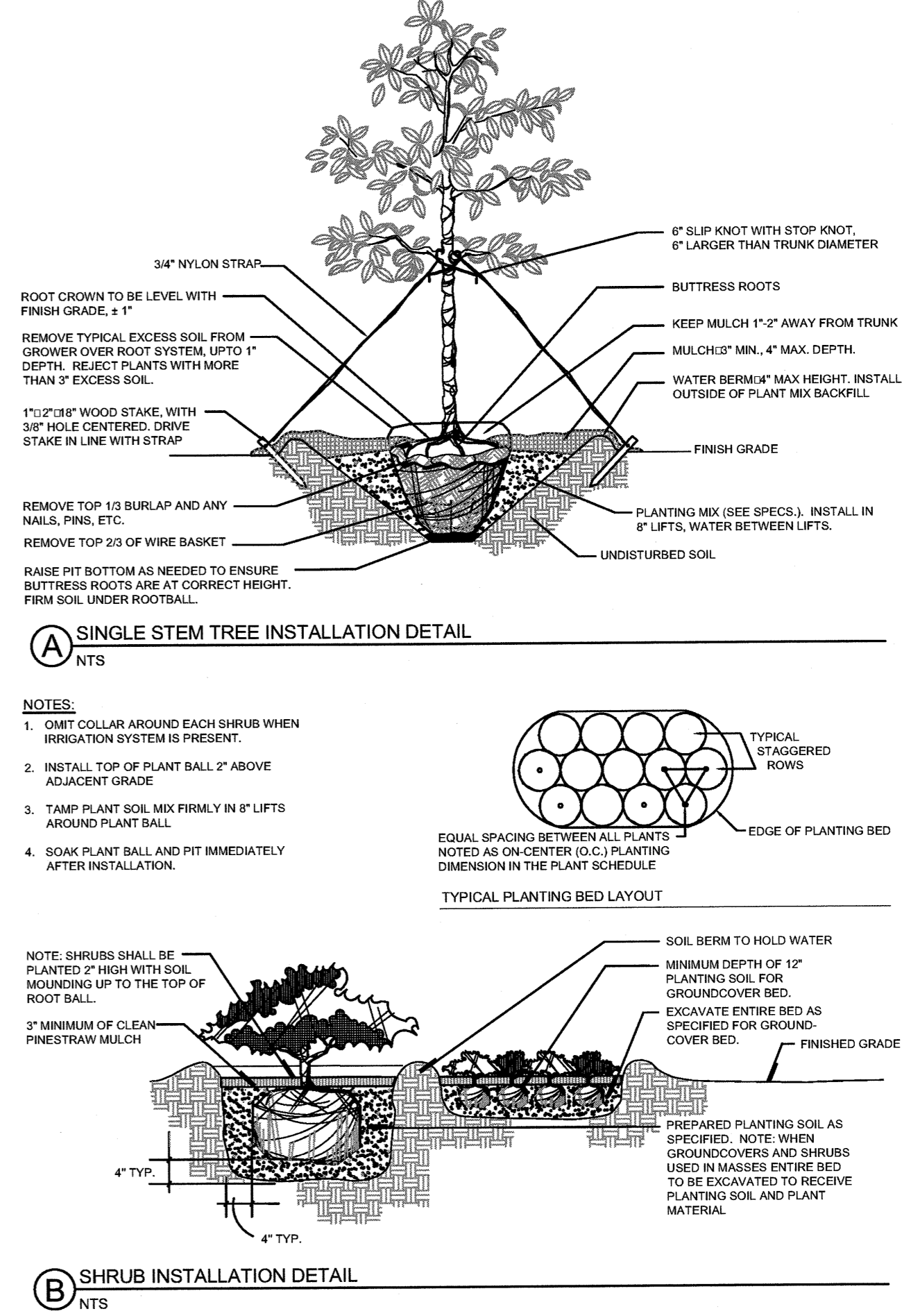
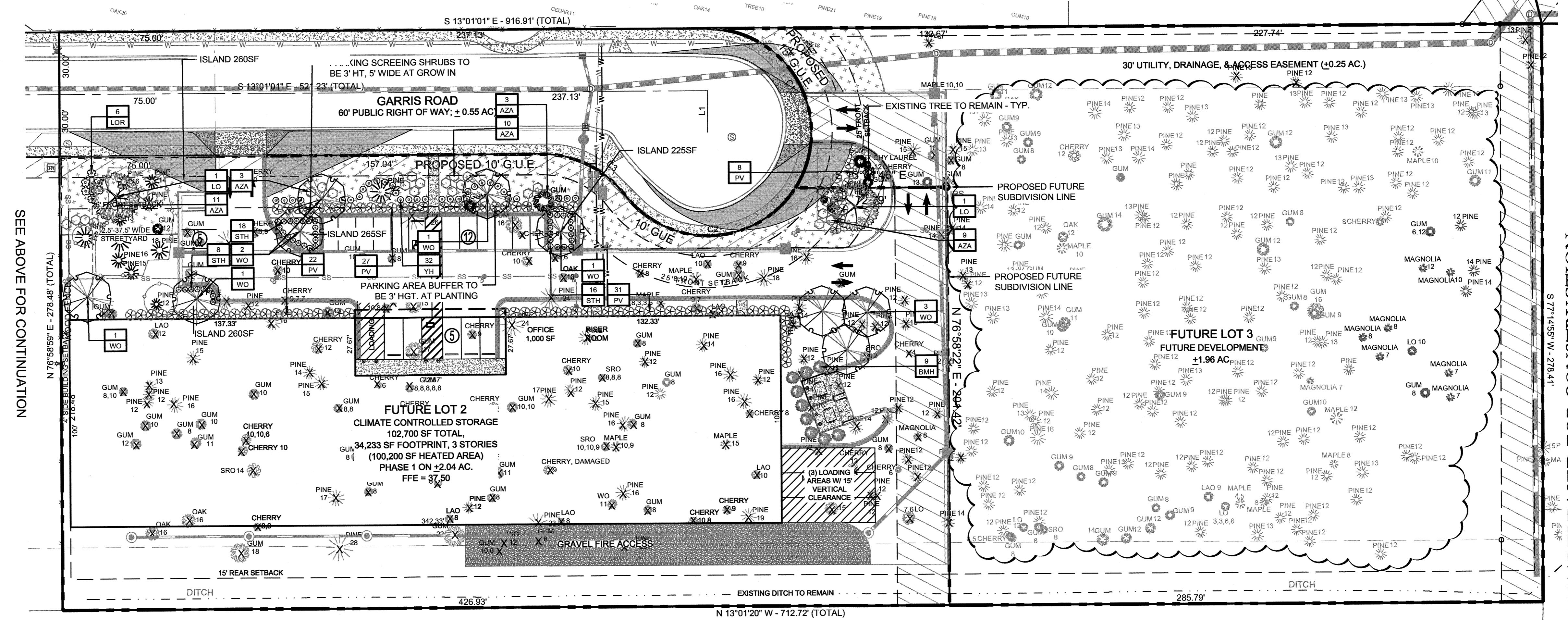
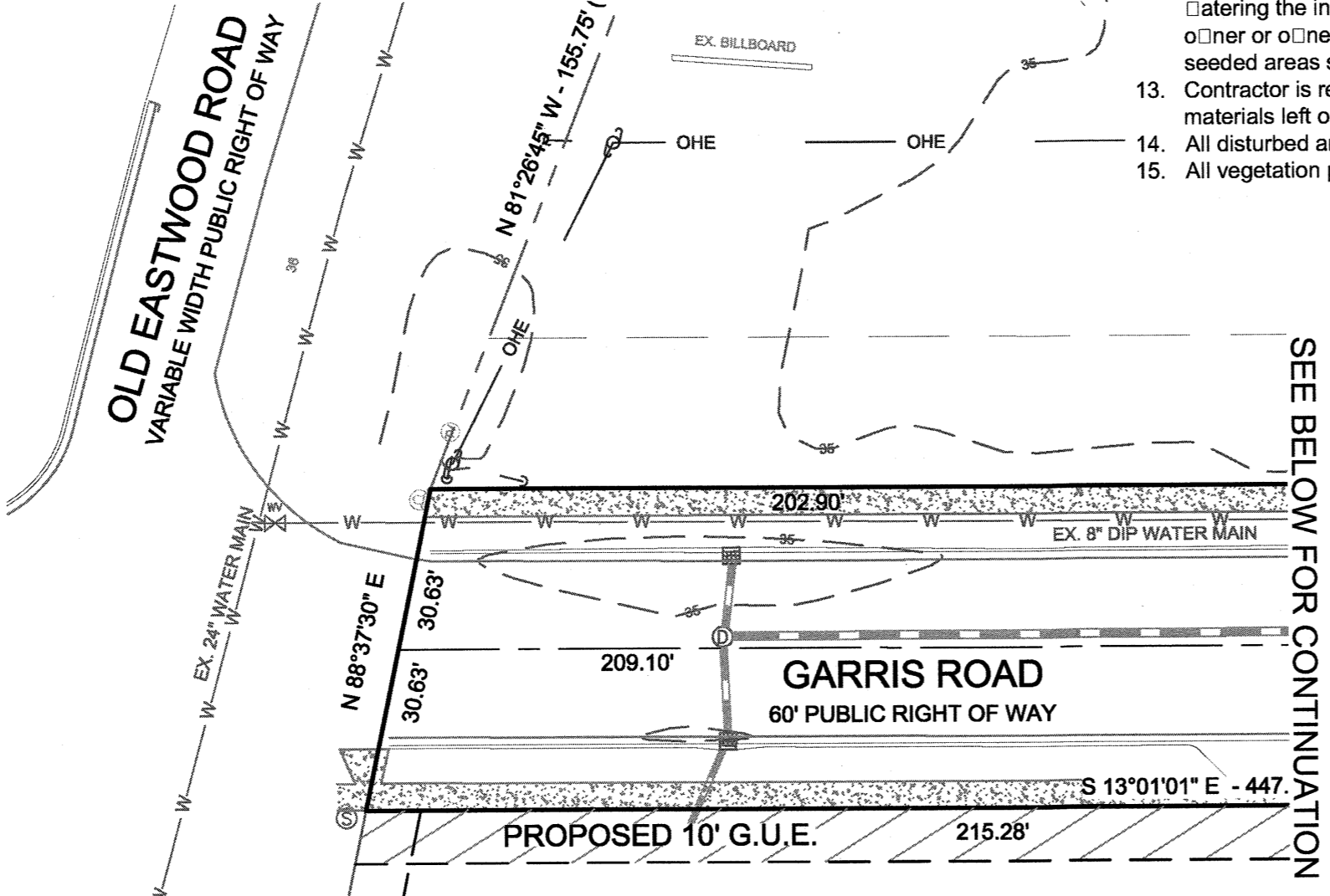
FOUNDATION PLANTINGS
 Garris Rd. Building Face (342 lf @ 44' h) 15,048 sf @ 120 1,806 sf
 Side Drive Aisle Face (100 lf @ 44' h) 4,400 sf @ 120 528 sf

- LEGEND:**
- SPILL GUTTER
 - PROPOSED HEAVY DUTY ASPHALT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED TREE LINE
 - PROPOSED STREETYARD BUFFER
 - PROPOSED LANDSCAPE ISLAND
 - PROPOSED FOUNDATION PLANTINGS
 - PROPOSED TREE PROTECTION FENCE

TREES	QTY	COMMON NAME	SIZE
LO	2	SOUTHERN LIVE OAK QUERCUS VIRGINIANA	2.5" CAL
WO	9	WILLOW OAK QUERCUS PHellos	2.5" CAL

SHRUBS	QTY	COMMON NAME	CONT	SPACING
AZA	36	FORMOSA AZALEA AZALEA L. FORMOSA	12" HGT. MIN UNLESS OTHERWISE SPECIFIED	60" o.c.
BMH	9	BLUE MAID HOLLY ILEX X MESERVEAE (BLUE MAID:TM)	12" HGT. MIN.	72" o.c.
LOR	6	RUBY LOROPETALUM LOROPETALUM C. RUBY	12" HGT. MIN.	48" o.c.
PV	88	VARIEGATED MOCK ORANGE PITTOSPORUM T. VARIEGATA	12" HGT. MIN.	60" o.c.
STH	42	SOFT TOUCH HOLLY ILEX C. SOFT TOUCH	12" HGT. MIN.	30" o.c.
YH	32	DWARF YAUPON ILEX VOMITORIA (ANANA)	12" HGT. MIN.	36" o.c.

- LANDSCAPE NOTES:**
- Contractor is responsible for identifying all utilities prior to beginning construction.
 - Trees shall be located a minimum of 5 feet from septic/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
 - All plant material shall meet the current version of the American Association of Nurserymen's Standards.
 - No tree, other than those shown on approved plans for removal, shall be removed. All shrub beds and/or planting areas including turf areas shall be mulched with 3 inch minimum and 4 inch maximum depth pine straw mulch unless otherwise noted.
 - All plants, 4 feet or less apart, shall be connected in one planting bed. All groups of plants should be within one planting bed with the edge of mulch extending 2 feet beyond the edge of plant mass. Single trees should have a circle of mulch not less than 5 feet diameter.
 - Planting soil shall include soil with the soil amendments and fertilizers in the quantities recommended by the soil testing laboratory, third party recognized by the State Department of Agriculture or as otherwise approved by the landscape architect or owner's representative.
 - Any and all substitutions of plant material shall be approved by landscape architect or owner's representative. Failure in obtaining approval may result in liability to the contractor.
 - The contractor shall replace dead and/or unhealthy plant material within 12 months of acceptance of the installed material from the owner or owner's representative.
 - The contractor shall prepare all seeded or sodded areas to assure that the subgrade has been raised and rolled to accept the sod/seed. All sod/seed areas must be irrigated or hand watered. All sod shall be placed with staggered joints and no gaps between sod joints. Sod should be rolled after installation. All seeded and/or sodded areas should provide a smooth surface free of dips and unlevelled ground.
 - If an automated irrigation system is desired by owner, irrigation shall be designed and installed by a licensed irrigation contractor in the state of North Carolina.
 - Plans and specifications for the irrigation design shall be submitted to the owner or owner's representative for approval prior to purchase or installation of the materials.
 - If automated irrigation is not installed or is not installed and in operation prior to plant installation, the contractor is responsible for hand watering the installed plant material until the automated irrigation is in operation or for a period of 6 months from the acceptance from the owner or owner's representative if irrigation has not been installed at the time of substantial completion. All material including sod and seeded areas shall be hand watered once daily or as needed to ensure survival of plants.
 - Contractor is responsible for removing trash, debris and excess materials from the job site once the project is complete. Securing any materials left on site during the course of the project is the contractor's responsibility.
 - All disturbed areas not designated for sod shall be seeded.
 - All vegetation proposed within sight distance areas shall not interfere with sight distance from 30' to 10'.



REVISIONS:
 CLIENT INFORMATION:
PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

LANDSCAPE PLAN
 GARRIS ROAD STORAGE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION:
 DATE: 01/23/18
 DESIGNED BY: T. PIERCE
 DRAWN BY: J. RICE
 CHECKED BY: J. RICE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 5/3/18 Permit # 2000013 E1
 Signed: *[Signature]*

Approved Construction Plan
 Name: *EK Fritzel* Date: *5.2.18*
 Planning: *[Signature]*
 Traffic: *[Signature]*
 Fire: *[Signature]*

NCDENR PWSS WATER PERMIT #:
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #:
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT:
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

811
 Know what's below.
 Call before you dig.
 GRAPHIC SCALE
 SCALE: 1"=30'

L-1.0
 PEI JOB#: 17148.PE

